



CITY OF BUELLTON

PLANNING COMMISSION AGENDA

**Regular Meeting of January 3, 2013 – 6:00 p.m.
City Council Chambers
140 West Highway 246, Buellton, California**

Materials related to an item on this agenda, as well as materials submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the office of the Planning Department located at 331 Park Street, during normal business hours.

CALL TO ORDER

Chair Fussel

PLEDGE OF ALLEGIANCE

Commissioner Adams

ROLL CALL

Commissioners Craig Adams, Lisa Figueroa, Foster Reif, Vice Chair Art Mercado and Chair Jason Fussel

REORDERING OF AGENDA

ELECTION OF OFFICERS

1. Election of Chair and Vice Chair
2. Committee Appointment - CDBG

PRESENTATIONS

3. Presentation to outgoing Chairman, Jason Fussel

APPROVAL OF MINUTES

4. Minutes of the regular Planning Commission meeting of December 6, 2012

PUBLIC COMMENTS

Members of the audience wishing to address the Planning Commission on matters not on the agenda may do so at this time. No action will be taken on these items at this meeting. Please state your name and address for the record. Comments should normally be limited to three minutes.

CONSENT CALENDAR

5. 2013 Schedule of Planning Commission Meetings

CONTINUED PUBLIC HEARINGS

None

NEW PUBLIC HEARINGS

6. **Resolution No. 13-01 – “A Resolution of the Planning Commission of the City of Buellton, California, considering Recommendations to the City Council on Revisions to Title 19 (Zoning) of the Buellton Municipal Code (13-ZOA-01) Relating to Section 19.04.170.E.6.D, Community Identification Signs, and Making Findings in Support Thereof”**

OTHER BUSINESS

7. **Preliminary Review of the Buellton Apartments – A Proposed 62 Unit AHOZ Project on the old “Zoo” Property.**

WRITTEN COMMUNICATIONS

PLANNING COMMISSIONER COMMENTS

PLANNING DIRECTOR REPORT

ADJOURNMENT

To the next regularly scheduled Planning Commission meeting of Thursday, January 17, 2013 at 6:00 p.m. in the Council Chambers located at 140 West Highway 246.

* Please note that the date of any Planning Commission decision starts an appeal period. During the appeal period either the applicant or any aggrieved party may appeal the application of a perceived onerous or unreasonable condition or the decision itself to the City Council as governed by the applicable section of the Buellton Municipal Code.

AFFIDAVIT OF POSTING

I, Clare Barcelona, City of Buellton Planning Department, declare as follows:

On Thursday, December 27, 2012 by or before 6:00 p.m., I posted a true and correct copy of the Agenda for the Regular Planning Commission Meeting at **6:00 p.m. on Thursday, January 3, 2013**. That in compliance with City Resolution No. 98-19 adopted June 9, 1998, the above listed document was caused to be posted in three (3) places in the City of Buellton.

City Hall
107 West Highway 246
Buellton, CA 93427

Buellton Library/Council
Chambers
140 West Highway 246
Buellton, CA 93427

Albertson's Market
Buellton Town Center
222 East Highway 246
Buellton, CA 93427

Executed on December 27, 2012 at Buellton, California. I declare under penalty of perjury that the foregoing is true and correct.



Clare Barcelona
Planning Commission Secretary

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in a City meeting, please contact the Planning Department Office at (805) 688-7474 at least 48 hours prior to the meeting to insure that reasonable arrangements can be made to provide accessibility to the meeting.

CITY OF BUELLTON

PLANNING COMMISSION MEETING MINUTES

Regular Meeting of December 6, 2012 – 6:00 p.m.
City Council Chambers, 140 West Highway 246
Buellton, California

CALL TO ORDER

Chair Fussel called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE

Commissioner Adams led the Pledge of Allegiance

ROLL CALL

Present: Commissioners Foster Reif, Gerald Witcher, Vice Chair Art Mercado and Chair Jason Fussel
Commissioner Craig Adams arrived at 6:04 p.m.

Staff: Planning Director Marc Bierdzinski
Staff Assistant/Planning Technician Clare Barcelona

REORDERING OF AGENDA

None

APPROVAL OF MINUTES

1. Minutes of the regular Planning Commission meeting of November 15, 2012

MOTION:

Commissioner Reif moved and Commissioner Witcher seconded the motion to approve the Minutes of November 15, 2012.

VOTE:

Motion passed by a 4-0 voice vote.

PUBLIC COMMENTS

Mayor Holly Sierra and Council Member Ed Andrisek, on behalf of the City Council, thanked outgoing Commissioner Witcher for his 8 years of service on the Planning Commission.

CONSENT CALENDAR

None

CONTINUED PUBLIC HEARINGS

None

NEW PUBLIC HEARINGS

None

OTHER BUSINESS

2. Project Update for 2013

Planning Director Bierdzinski updated the Commission on upcoming development projects including the Village Retail, Hotel and Residential projects, a proposed senior housing project, the Joint Replacement Center and upcoming Code Revisions that will be moving forward in 2013.

3. Presentation to outgoing Commissioner Jerry Witcher

Chairman Fussel presented an engraved mug to outgoing Commissioner Jerry Witcher, commemorating his 8 years of service on the Buellton Planning Commission.

WRITTEN COMMUNICATIONS

None

PLANNING COMMISSIONER COMMENTS

None

PLANNING DIRECTOR REPORT

None

ADJOURNMENT

Chair Fussel adjourned the meeting at 6:16 p.m. to the next regular scheduled meeting of the Planning Commission to be held January 3, 2012 at the City Council Chambers, 140 West Highway 246, Buellton, CA.

Jason Fussel, Planning Commission Chair

ATTEST:

Clare Barcelona, Planning Commission Secretary

An audio CD of this Planning Commission Meeting is available upon request



City of Buellton Planning Department

January 3, 2013

Public Notice of Year 2013 Planning Commission Meetings

Planning Commission meetings are held on the first and third Thursdays of each month at 6:00 p.m. in the Council Chambers located at 140 West Highway 246.

January 3, 2013	July 4, 2013
January 17, 2013	July 18, 2013
February 7, 2013	August 1, 2013
February 21, 2013	August 15, 2013
March 7, 2013	September 5, 2013
March 21, 2013	September 19, 2013
April 4, 2013	October 3, 2013
April 18, 2013	October 19, 2013
May 2, 2013	November 7, 2013
May 17, 2013	November 21, 2013
June 6, 2013	December 5, 2013
June 20, 2013	December 19, 2013

Should any further information be needed, please contact the Planning Department at (805) 688-7474, Monday through Friday 8:00 a.m. to 5:00 p.m.

CITY OF BUELLTON
Planning Commission Agenda Staff Report

Planning Director Review: MPB/CB
Planning Commission Agenda Item No: 6

To: The Honorable Chair and Commission Members

From: Marc P. Bierdzinski, AICP, Planning Director

Date: January 3, 2013

Subject: Resolution No. 13-01 – “A Resolution of the Planning Commission of the City of Buellton, California, Considering Recommendations to the City Council on Revisions to Title 19 (Zoning) of the Buellton Municipal Code (13-ZOA-01) Relating to Section 19.04.170.E.6.d, Community Identification Signs, and Making Findings in Support Thereof”

BACKGROUND/DISCUSSION

The Buellton Chamber of Commerce is interested in installing a community identification sign at the north end of the City in order to promote economic development. However, the current wording of the community identification sign section of the Municipal Code (Section 19.04.170.E.6.d) does not meet the needs from an economic development standpoint. Therefore, additional details and standards for these types of signs have been drafted.

The proposed wording is contained in Exhibit A to Resolution No. 13-01. New wording is underlined and deleted wording is in strikeout. The wording that has been added sets more parameters for the community identification sign, including size and height. The current wording for these types of signs could allow signs that are larger and taller than what is being proposed.

In summary, the following changes are proposed:

- Only one community identification sign shall be permitted (existing vested billboards do not count against this total). *The current code allows two of these signs*
- The sign shall be located within 100 feet of Highway 101 and is only allowed in the CR and M zoning districts. *The current code does not specify location or zoning*

- The sign shall be a maximum of 35 feet in height and the sign area shall be a maximum of 1,200 square feet. *The current code does not contain height or size standards*
- All lighting shall be directed downward. *The current code does not contain standards to protect night skies*
- The primary copy of the sign shall be the identification of Buellton to freeway travellers. However, a maximum of two Buellton or Santa Ynez Valley businesses may be listed on each face of the sign. *The current code does not permit businesses to be on the signs – this change is being proposed to promote economic development*
- The sign shall be approved pursuant to the zoning clearance process identified in Section 19.08.100 of this title. *The current code requires approval of the signs by the Planning Commission – since standards are now being established staff recommends that the sign can be approved by staff*
- The sign shall be sponsored by the City of Buellton or the Buellton Chamber of Commerce/Visitor’s Bureau. *The current code does not specify who can sponsor the sign*

The Chamber of Commerce has provided draft examples of what such a sign would look like from a size and height standpoint (Attachments A and B).

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

RECOMMENDATION

Staff recommends that the Planning Commission consider adoption of Resolution No. 13-01 – “A Resolution of the Planning Commission of the City of Buellton, California, Considering Recommendations to the City Council on Revisions to Title 19 (Zoning) of the Buellton Municipal Code (13-ZOA-01) Relating to Section 19.04.170.E.6.d, Community Identification Signs, and Making Findings in Support Thereof”

ATTACHMENTS

Attachment A – Possible Sign (view southbound)
Attachment B – Possible Sign (view northbound)
Resolution No. 13-01 with Exhibit A

Attachment A

101 Southbound Facing Traffic

This image is for conversational demonstration only.

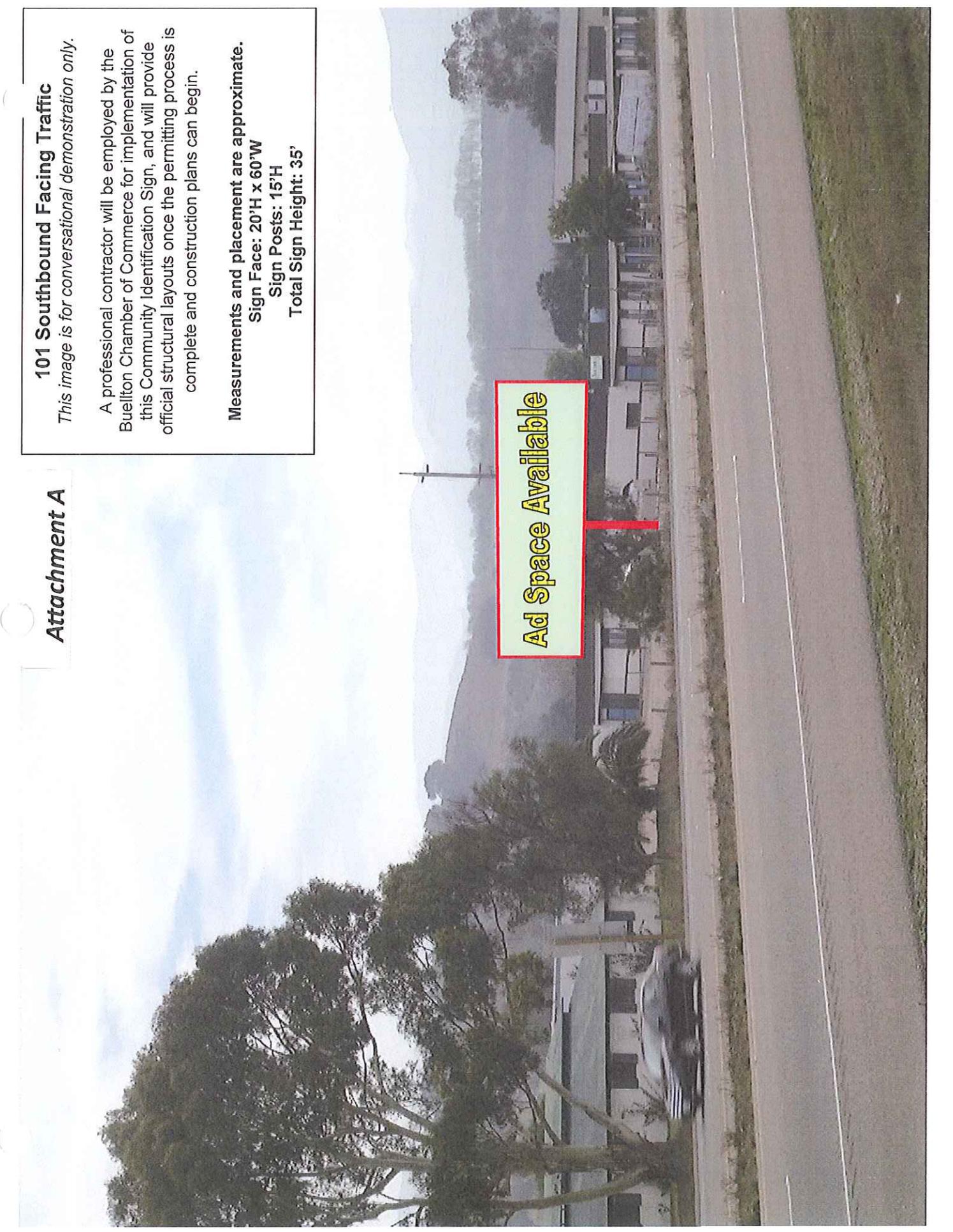
A professional contractor will be employed by the Buellton Chamber of Commerce for implementation of this Community Identification Sign, and will provide official structural layouts once the permitting process is complete and construction plans can begin.

Measurements and placement are approximate.

Sign Face: 20'H x 60"W

Sign Posts: 15'H

Total Sign Height: 35'

A photograph of a street scene. In the foreground, there is a paved road with a white dashed line. To the right of the road is a grassy area. In the middle ground, there is a utility pole with cross-arms. Behind the pole, there are several trees and a building. In the background, there are mountains under a cloudy sky. A red vertical line is drawn on the image, extending from the top of a green rectangular box to the utility pole. The green box contains the text "Ad Space Available" in yellow, bold, sans-serif font.

Ad Space Available

Attachment B

101 Northbound Facing Traffic

This image is for conversational demonstration only.

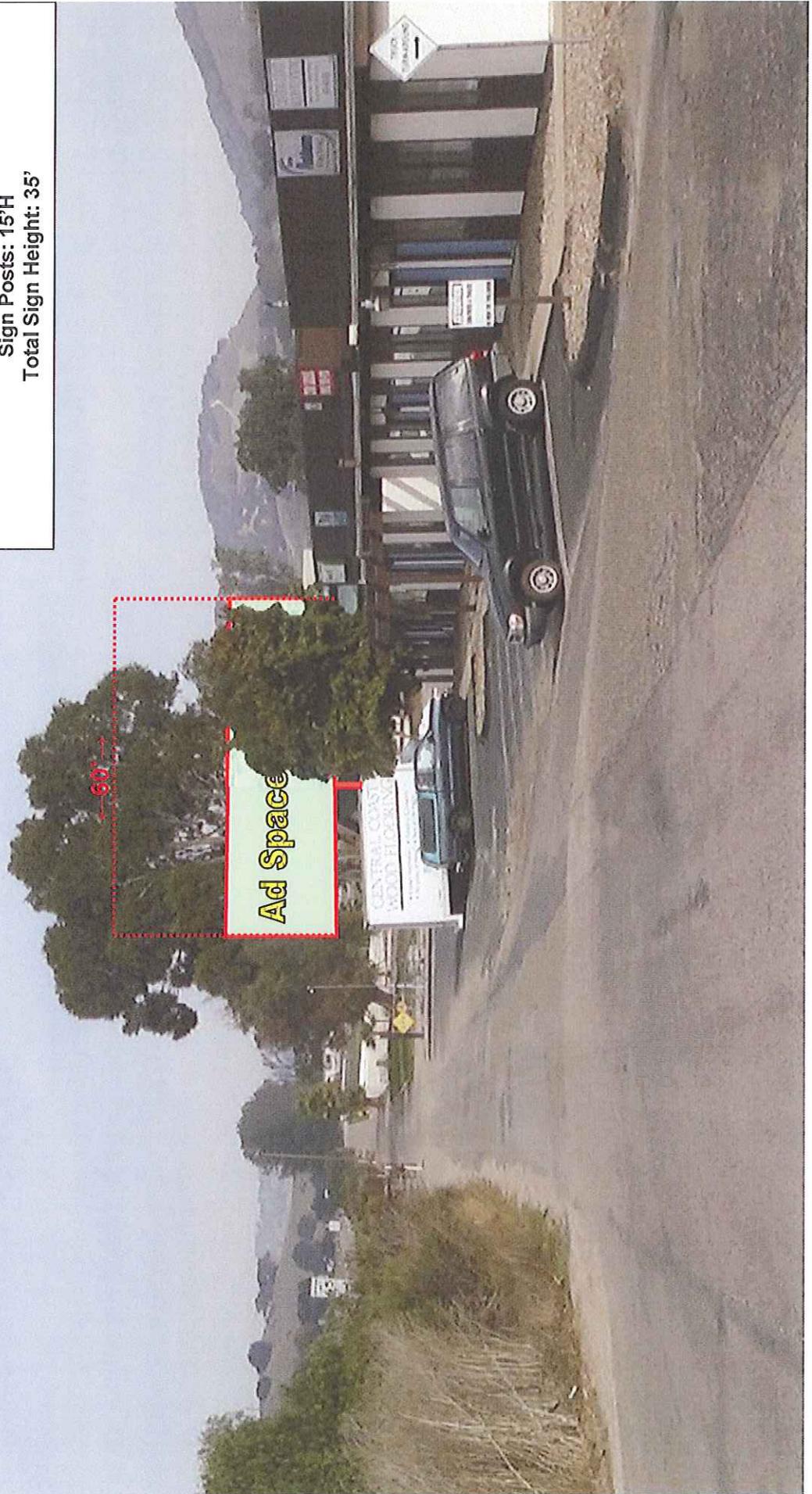
A professional contractor will be employed by the Buellton Chamber of Commerce for implementation of this Community Identification Sign, and will provide official structural layouts once the permitting process is complete and construction plans can begin.

Measurements and placement are approximate.

Sign Face: 20'H x 60"W

Sign Posts: 15'H

Total Sign Height: 35'



Planning Commission Resolution No. 13-01

A Resolution of the Planning Commission of the City of Buellton, California, Considering Recommendations to the City Council on Revisions to Title 19 (Zoning) of the Buellton Municipal Code (13-ZOA-01) Relating to Section 19.04.170.E.6.d, Community Identification Signs, and Making Findings in Support Thereof

SECTION 1: The Buellton Chamber of Commerce is interested in installing a community identification sign at the north end of the City in order to promote economic development. However, the current wording of the community identification sign section of the Municipal Code (Section 19.04.170.E.6.d) does not meet the needs from an economic development standpoint. Therefore, additional details and standards for these types of signs have been drafted and noted in Exhibit A to this resolution.

SECTION 2: All proceedings having been duly taken as required by law, and upon review of the information provided in the staff report, consideration of the testimony given at the public hearing, as well as other pertinent information, the Planning Commission finds the following:

- A. Record.** Prior to rendering a decision on any aspect of the proposed zoning ordinance amendments, the Planning Commission considered the following:
1. All public testimony, both written and oral, received in conjunction with that certain public hearing conducted by the Planning Commission on January 3, 2013 (“Public Hearing”).
 2. All oral, written and visual materials presented by City staff in conjunction with the Public Hearing.
 3. The following informational documents which, by this reference, are incorporated herein.
 - a. That staff report submitted by the Planning Department dated January 3, 2013 (the “Staff Report”).
- B. Public Review.** On the basis of evidence hereinafter listed, all administrative procedures and public participation requirements prescribed in the Buellton Zoning Ordinance have been lawfully satisfied:
1. A notice was published in a newspaper on December 20, 2012 (the “Public Notice”), a minimum of ten (10) days in advance of the Public Hearing.
 2. The Public Notice and Agenda for the Public Hearing was posted in three conspicuous public places on December 20, 2012, a minimum of 10 days before the Public Hearing.

C. **Environmental Clearance.** This project is exempt from the California Environmental Quality Act because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

D. **Consistency Declarations.** Based on (i) the evidence presented in the Staff Report (incorporated herein by reference), (ii) consultations with affected City Departments, and (iii) testimony and comments received in connection with the public hearing, the Planning Commission does hereby declare as follows:

1. **Zoning Ordinance Amendments.**

a. **Findings:**

- i. The Amendment is in the interests of the general community welfare as it promotes economic development.
- ii. The Amendment is consistent with the General Plan, the requirements of state planning and zoning laws, and Title 19 of the Zoning Ordinance.
- iii. The Amendment is consistent with good zoning and planning practices.

SECTION 3. The Planning Commission hereby recommends that the City Council adopt an ordinance to amend Title 19 of the Buellton Municipal Code in accordance with the changes noted on Exhibit A to this resolution.

SECTION 4. The Planning Commission Secretary shall certify as to the adoption of this Resolution and shall cause the same to be transmitted to the City Clerk for consideration by the City Council.

PASSED, APPROVED, AND ADOPTED this 3rd day of January 2013.

Jason Fussell, Chairman

Exhibit A – Draft Ordinance Wording

ATTEST:

Clare Barcelona, Planning Commission Secretary

STATE OF CALIFORNIA)
COUNTY OF SANTA BARBARA) SS
CITY OF BUELLTON)

I, Clare Barcelona, Planning Commission Secretary of the City of Buellton, do hereby certify that the above and foregoing Resolution No. 13-01 was duly passed and adopted by the Planning Commission of said City at a regular meeting thereof, held on the 3rd day of January 2013, by the following vote, to wit:

AYES:

NOES:

ABSENT:

IN WITNESS WHEREOF, I have hereunto set my hand this 3rd day of January 2013.

Clare Barcelona
Planning Commission Secretary

EXHIBIT A

19.04.170 Sign Title

E. Prohibited Signs

6. Off-Premise Signs. Signs that advertise a business, activity or service that is not offered or sold on the premises, including billboards, except that the following are allowed:

d. ~~A~~ Community identification signs that identifies Buellton to freeway travellers under the following conditions: ~~; provided that no more than two such signs may be allowed; the signs shall not identify individual businesses, and the signs shall be subject to the approval of an exemption by the Planning Commission (Section 19.04.174(A)(2)).~~

- i. Only one community identification sign shall be permitted (existing vested billboards do not count against this total).
- ii. The sign shall be located within 100 feet of Highway 101 and is only allowed in the CR and M zoning districts.
- iii. The sign shall be a maximum of 35 feet in height and the sign area shall be a maximum of 1,200 square feet.
- iv. All lighting shall be directed downward.
- v. The primary copy of the sign shall be the identification of Buellton to freeway travellers. However, a maximum of two Buellton or Santa Ynez Valley businesses may be listed on each face of the sign.
- vi. The sign shall be approved pursuant to the zoning clearance process identified in Section 19.08.100 of this title.
- vii. The sign shall be for non-profit purposes and shall be sponsored by the City of Buellton or the Buellton Chamber of Commerce/Visitor's Bureau. Any charges received for identification on the sign shall be limited to covering the cost of the installation and ongoing maintenance of the sign.

CITY OF BUELLTON
Planning Commission Agenda Staff Report

Planning Director Review: MPB/CP
Planning Commission Agenda Item No: 7

To: The Honorable Chair and Commission Members
From: Marc P. Bierdzinski, Planning Director
Date: January 3, 2013
Subject: Preliminary Review of the Buellton Apartments
12-FDP-02

BACKGROUND/DISCUSSION

Owner: SY Band of Chumash Indians

Agent: Sid Goldstien

Zoning: CR (General Commercial) with Affordable Housing Overlay (AHOZ)

APN: 137-170-011 and -053

The proposed project is development of a 62-unit apartment complex on vacant land located on the north side of the east end of Second Street. The site is 4.19 acres. The development is an Affordable Housing Overlay Zone (AHOZ) project which requires 25 units per buildable acre and that 20% of the units in the development are required to be affordable units.

The buildings consist of two and three story buildings that are 25 to 35 feet in height. A mix of one, two, and three bedroom apartments are proposed. A common outdoor play area would be provided. Parking would conform to the requirements of the Buellton zoning ordinance.

Project access would be from both Second Street and Avenue of Flags. The project would tie into the City sewer main and would create a water line loop through the project site. On-site fire hydrants are proposed.

Oak and sycamore trees that would be removed as part of the project would be replaced per the requirements of the Buellton Municipal Code. A pedestrian path along Zaca Creek would be provided as a result of the City's vision plan.

The architectural, landscape, and civil plans are attached.

The project is consistent with the AHOZ overlay zone that allows a residential project to be built on commercial property (see Section 19.16.013 of the Municipal Code).

After an initial review, it appears the project meets the requirements of the Municipal Code and AHOZ ordinance. Staff will have detailed comments on the plans that will be

provided at the time of the meeting. Comments and corrections from staff and the Planning Commission will then be summarized in an incomplete letter to the applicant. The applicant will then respond to the incomplete letter with a resubmittal of the project. If the resubmittal meets the requirements contained in the incomplete letter then the project will move forward with a public hearing with the Planning Commission. At that time the Planning Commission would take an action on the project.

RECOMMENDATION

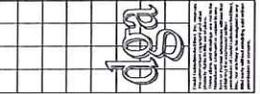
That the Planning Commission provide direction to the applicant and staff on the proposed project plans.

ATTACHMENTS

Architectural, landscape, and civil plans

DAVID GOLDSTEIN ARCHITECT INC. 150 Main Street, Suite 200, Buellton, CA 94706

150 Main Street, Suite 200, Buellton, CA 94706
 (707) 835-1100
 www.dga.com



BUELLTON APARTMENTS
 SECOND STREET
 BUELLTON, CA

APPROVED
 DAVID GOLDSTEIN ARCHITECT INC.
 APR 30, 2013

PRINTED: 12-1-12
 DRAWN: R.A.
 DATE: 12-1-10
 SHEET: A1.0

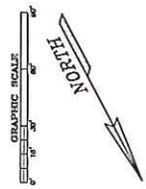
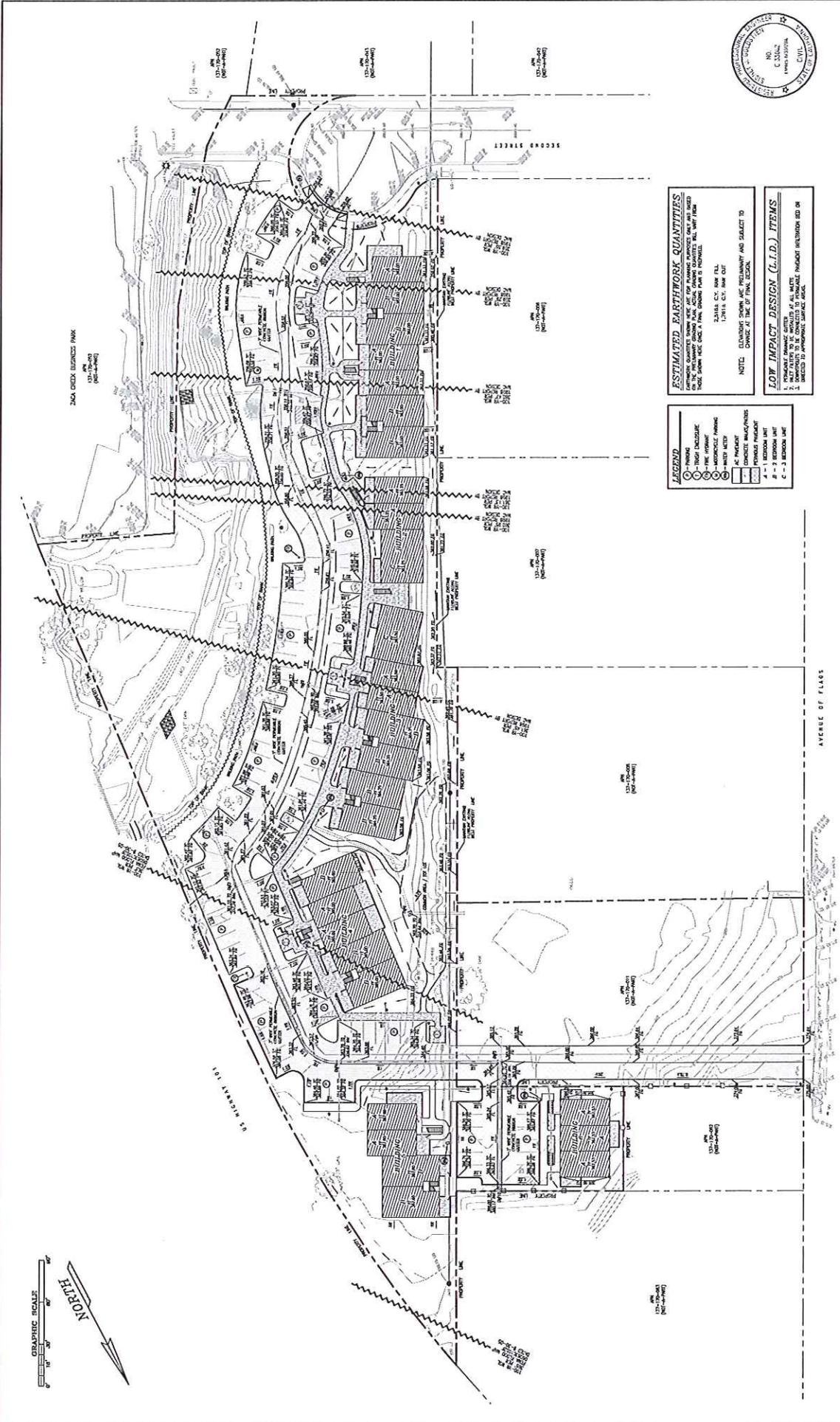
BUELLTON APARTMENTS

SECOND STREET

BUELLTON, CA

Bldg #	UNIT COUNT	BUILDING COUNT AND AREA BREAK DOWN		TOTAL AREA	TOTAL UNIT COUNT	TOTAL AREA PER UNIT	COMMENTS
		FLOOR AREA	ROOF AREA				
1	1	1,000 sq. ft.	100 sq. ft.	1,100 sq. ft.	1	1,100 sq. ft./unit	INDICATES 2 STORIES
2	1	1,200 sq. ft.	120 sq. ft.	1,320 sq. ft.	1	1,320 sq. ft./unit	INDICATES 2 STORIES
3	1	1,500 sq. ft.	150 sq. ft.	1,650 sq. ft.	1	1,650 sq. ft./unit	INDICATES 2 STORIES
4	1	1,800 sq. ft.	180 sq. ft.	1,980 sq. ft.	1	1,980 sq. ft./unit	INDICATES 2 STORIES
5	1	2,000 sq. ft.	200 sq. ft.	2,200 sq. ft.	1	2,200 sq. ft./unit	INDICATES 2 STORIES
6	1	2,200 sq. ft.	220 sq. ft.	2,420 sq. ft.	1	2,420 sq. ft./unit	INDICATES 2 STORIES
7	1	2,400 sq. ft.	240 sq. ft.	2,640 sq. ft.	1	2,640 sq. ft./unit	INDICATES 2 STORIES
8	1	2,600 sq. ft.	260 sq. ft.	2,860 sq. ft.	1	2,860 sq. ft./unit	INDICATES 2 STORIES
9	1	2,800 sq. ft.	280 sq. ft.	3,080 sq. ft.	1	3,080 sq. ft./unit	INDICATES 2 STORIES
10	1	3,000 sq. ft.	300 sq. ft.	3,300 sq. ft.	1	3,300 sq. ft./unit	INDICATES 2 STORIES
11	1	3,200 sq. ft.	320 sq. ft.	3,520 sq. ft.	1	3,520 sq. ft./unit	INDICATES 2 STORIES
12	1	3,400 sq. ft.	340 sq. ft.	3,740 sq. ft.	1	3,740 sq. ft./unit	INDICATES 2 STORIES
13	1	3,600 sq. ft.	360 sq. ft.	3,960 sq. ft.	1	3,960 sq. ft./unit	INDICATES 2 STORIES
14	1	3,800 sq. ft.	380 sq. ft.	4,180 sq. ft.	1	4,180 sq. ft./unit	INDICATES 2 STORIES
15	1	4,000 sq. ft.	400 sq. ft.	4,400 sq. ft.	1	4,400 sq. ft./unit	INDICATES 2 STORIES
16	1	4,200 sq. ft.	420 sq. ft.	4,620 sq. ft.	1	4,620 sq. ft./unit	INDICATES 2 STORIES
17	1	4,400 sq. ft.	440 sq. ft.	4,840 sq. ft.	1	4,840 sq. ft./unit	INDICATES 2 STORIES
18	1	4,600 sq. ft.	460 sq. ft.	5,060 sq. ft.	1	5,060 sq. ft./unit	INDICATES 2 STORIES
19	1	4,800 sq. ft.	480 sq. ft.	5,280 sq. ft.	1	5,280 sq. ft./unit	INDICATES 2 STORIES
20	1	5,000 sq. ft.	500 sq. ft.	5,500 sq. ft.	1	5,500 sq. ft./unit	INDICATES 2 STORIES
21	1	5,200 sq. ft.	520 sq. ft.	5,720 sq. ft.	1	5,720 sq. ft./unit	INDICATES 2 STORIES
22	1	5,400 sq. ft.	540 sq. ft.	5,940 sq. ft.	1	5,940 sq. ft./unit	INDICATES 2 STORIES
23	1	5,600 sq. ft.	560 sq. ft.	6,160 sq. ft.	1	6,160 sq. ft./unit	INDICATES 2 STORIES
24	1	5,800 sq. ft.	580 sq. ft.	6,380 sq. ft.	1	6,380 sq. ft./unit	INDICATES 2 STORIES
25	1	6,000 sq. ft.	600 sq. ft.	6,600 sq. ft.	1	6,600 sq. ft./unit	INDICATES 2 STORIES
26	1	6,200 sq. ft.	620 sq. ft.	6,820 sq. ft.	1	6,820 sq. ft./unit	INDICATES 2 STORIES
27	1	6,400 sq. ft.	640 sq. ft.	7,040 sq. ft.	1	7,040 sq. ft./unit	INDICATES 2 STORIES
28	1	6,600 sq. ft.	660 sq. ft.	7,260 sq. ft.	1	7,260 sq. ft./unit	INDICATES 2 STORIES
29	1	6,800 sq. ft.	680 sq. ft.	7,480 sq. ft.	1	7,480 sq. ft./unit	INDICATES 2 STORIES
30	1	7,000 sq. ft.	700 sq. ft.	7,700 sq. ft.	1	7,700 sq. ft./unit	INDICATES 2 STORIES
31	1	7,200 sq. ft.	720 sq. ft.	7,920 sq. ft.	1	7,920 sq. ft./unit	INDICATES 2 STORIES
32	1	7,400 sq. ft.	740 sq. ft.	8,140 sq. ft.	1	8,140 sq. ft./unit	INDICATES 2 STORIES
33	1	7,600 sq. ft.	760 sq. ft.	8,360 sq. ft.	1	8,360 sq. ft./unit	INDICATES 2 STORIES
34	1	7,800 sq. ft.	780 sq. ft.	8,580 sq. ft.	1	8,580 sq. ft./unit	INDICATES 2 STORIES
35	1	8,000 sq. ft.	800 sq. ft.	8,800 sq. ft.	1	8,800 sq. ft./unit	INDICATES 2 STORIES
36	1	8,200 sq. ft.	820 sq. ft.	9,020 sq. ft.	1	9,020 sq. ft./unit	INDICATES 2 STORIES
37	1	8,400 sq. ft.	840 sq. ft.	9,240 sq. ft.	1	9,240 sq. ft./unit	INDICATES 2 STORIES
38	1	8,600 sq. ft.	860 sq. ft.	9,460 sq. ft.	1	9,460 sq. ft./unit	INDICATES 2 STORIES
39	1	8,800 sq. ft.	880 sq. ft.	9,680 sq. ft.	1	9,680 sq. ft./unit	INDICATES 2 STORIES
40	1	9,000 sq. ft.	900 sq. ft.	9,900 sq. ft.	1	9,900 sq. ft./unit	INDICATES 2 STORIES
41	1	9,200 sq. ft.	920 sq. ft.	10,120 sq. ft.	1	10,120 sq. ft./unit	INDICATES 2 STORIES
42	1	9,400 sq. ft.	940 sq. ft.	10,340 sq. ft.	1	10,340 sq. ft./unit	INDICATES 2 STORIES
43	1	9,600 sq. ft.	960 sq. ft.	10,560 sq. ft.	1	10,560 sq. ft./unit	INDICATES 2 STORIES
44	1	9,800 sq. ft.	980 sq. ft.	10,780 sq. ft.	1	10,780 sq. ft./unit	INDICATES 2 STORIES
45	1	10,000 sq. ft.	1,000 sq. ft.	11,000 sq. ft.	1	11,000 sq. ft./unit	INDICATES 2 STORIES
46	1	10,200 sq. ft.	1,020 sq. ft.	11,220 sq. ft.	1	11,220 sq. ft./unit	INDICATES 2 STORIES
47	1	10,400 sq. ft.	1,040 sq. ft.	11,440 sq. ft.	1	11,440 sq. ft./unit	INDICATES 2 STORIES
48	1	10,600 sq. ft.	1,060 sq. ft.	11,660 sq. ft.	1	11,660 sq. ft./unit	INDICATES 2 STORIES
49	1	10,800 sq. ft.	1,080 sq. ft.	11,880 sq. ft.	1	11,880 sq. ft./unit	INDICATES 2 STORIES
50	1	11,000 sq. ft.	1,100 sq. ft.	12,100 sq. ft.	1	12,100 sq. ft./unit	INDICATES 2 STORIES
51	1	11,200 sq. ft.	1,120 sq. ft.	12,320 sq. ft.	1	12,320 sq. ft./unit	INDICATES 2 STORIES
52	1	11,400 sq. ft.	1,140 sq. ft.	12,540 sq. ft.	1	12,540 sq. ft./unit	INDICATES 2 STORIES
53	1	11,600 sq. ft.	1,160 sq. ft.	12,760 sq. ft.	1	12,760 sq. ft./unit	INDICATES 2 STORIES
54	1	11,800 sq. ft.	1,180 sq. ft.	12,980 sq. ft.	1	12,980 sq. ft./unit	INDICATES 2 STORIES
55	1	12,000 sq. ft.	1,200 sq. ft.	13,200 sq. ft.	1	13,200 sq. ft./unit	INDICATES 2 STORIES
56	1	12,200 sq. ft.	1,220 sq. ft.	13,420 sq. ft.	1	13,420 sq. ft./unit	INDICATES 2 STORIES
57	1	12,400 sq. ft.	1,240 sq. ft.	13,640 sq. ft.	1	13,640 sq. ft./unit	INDICATES 2 STORIES
58	1	12,600 sq. ft.	1,260 sq. ft.	13,860 sq. ft.	1	13,860 sq. ft./unit	INDICATES 2 STORIES
59	1	12,800 sq. ft.	1,280 sq. ft.	14,080 sq. ft.	1	14,080 sq. ft./unit	INDICATES 2 STORIES
60	1	13,000 sq. ft.	1,300 sq. ft.	14,300 sq. ft.	1	14,300 sq. ft./unit	INDICATES 2 STORIES
61	1	13,200 sq. ft.	1,320 sq. ft.	14,520 sq. ft.	1	14,520 sq. ft./unit	INDICATES 2 STORIES
62	1	13,400 sq. ft.	1,340 sq. ft.	14,740 sq. ft.	1	14,740 sq. ft./unit	INDICATES 2 STORIES
63	1	13,600 sq. ft.	1,360 sq. ft.	14,960 sq. ft.	1	14,960 sq. ft./unit	INDICATES 2 STORIES
64	1	13,800 sq. ft.	1,380 sq. ft.	15,180 sq. ft.	1	15,180 sq. ft./unit	INDICATES 2 STORIES
65	1	14,000 sq. ft.	1,400 sq. ft.	15,400 sq. ft.	1	15,400 sq. ft./unit	INDICATES 2 STORIES
66	1	14,200 sq. ft.	1,420 sq. ft.	15,620 sq. ft.	1	15,620 sq. ft./unit	INDICATES 2 STORIES
67	1	14,400 sq. ft.	1,440 sq. ft.	15,840 sq. ft.	1	15,840 sq. ft./unit	INDICATES 2 STORIES
68	1	14,600 sq. ft.	1,460 sq. ft.	16,060 sq. ft.	1	16,060 sq. ft./unit	INDICATES 2 STORIES
69	1	14,800 sq. ft.	1,480 sq. ft.	16,280 sq. ft.	1	16,280 sq. ft./unit	INDICATES 2 STORIES
70	1	15,000 sq. ft.	1,500 sq. ft.	16,500 sq. ft.	1	16,500 sq. ft./unit	INDICATES 2 STORIES
71	1	15,200 sq. ft.	1,520 sq. ft.	16,720 sq. ft.	1	16,720 sq. ft./unit	INDICATES 2 STORIES
72	1	15,400 sq. ft.	1,540 sq. ft.	16,940 sq. ft.	1	16,940 sq. ft./unit	INDICATES 2 STORIES
73	1	15,600 sq. ft.	1,560 sq. ft.	17,160 sq. ft.	1	17,160 sq. ft./unit	INDICATES 2 STORIES
74	1	15,800 sq. ft.	1,580 sq. ft.	17,380 sq. ft.	1	17,380 sq. ft./unit	INDICATES 2 STORIES
75	1	16,000 sq. ft.	1,600 sq. ft.	17,600 sq. ft.	1	17,600 sq. ft./unit	INDICATES 2 STORIES
76	1	16,200 sq. ft.	1,620 sq. ft.	17,820 sq. ft.	1	17,820 sq. ft./unit	INDICATES 2 STORIES
77	1	16,400 sq. ft.	1,640 sq. ft.	18,040 sq. ft.	1	18,040 sq. ft./unit	INDICATES 2 STORIES
78	1	16,600 sq. ft.	1,660 sq. ft.	18,260 sq. ft.	1	18,260 sq. ft./unit	INDICATES 2 STORIES
79	1	16,800 sq. ft.	1,680 sq. ft.	18,480 sq. ft.	1	18,480 sq. ft./unit	INDICATES 2 STORIES
80	1	17,000 sq. ft.	1,700 sq. ft.	18,700 sq. ft.	1	18,700 sq. ft./unit	INDICATES 2 STORIES
81	1	17,200 sq. ft.	1,720 sq. ft.	18,920 sq. ft.	1	18,920 sq. ft./unit	INDICATES 2 STORIES
82	1	17,400 sq. ft.	1,740 sq. ft.	19,140 sq. ft.	1	19,140 sq. ft./unit	INDICATES 2 STORIES
83	1	17,600 sq. ft.	1,760 sq. ft.	19,360 sq. ft.	1	19,360 sq. ft./unit	INDICATES 2 STORIES
84	1	17,800 sq. ft.	1,780 sq. ft.	19,580 sq. ft.	1	19,580 sq. ft./unit	INDICATES 2 STORIES
85	1	18,000 sq. ft.	1,800 sq. ft.	19,800 sq. ft.	1	19,800 sq. ft./unit	INDICATES 2 STORIES
86	1	18,200 sq. ft.	1,820 sq. ft.	20,020 sq. ft.	1	20,020 sq. ft./unit	INDICATES 2 STORIES
87	1	18,400 sq. ft.	1,840 sq. ft.	20,240 sq. ft.	1	20,240 sq. ft./unit	INDICATES 2 STORIES
88	1	18,600 sq. ft.	1,860 sq. ft.	20,460 sq. ft.	1	20,460 sq. ft./unit	INDICATES 2 STORIES
89	1	18,800 sq. ft.	1,880 sq. ft.	20,680 sq. ft.	1	20,680 sq. ft./unit	INDICATES 2 STORIES
90	1	19,000 sq. ft.	1,900 sq. ft.	20,900 sq. ft.	1	20,900 sq. ft./unit	INDICATES 2 STORIES
91	1	19,200 sq. ft.	1,920 sq. ft.	21,120 sq. ft.	1	21,120 sq. ft./unit	INDICATES 2 STORIES
92	1	19,400 sq. ft.	1,940 sq. ft.	21,340 sq. ft.	1	21,340 sq. ft./unit	INDICATES 2 STORIES
93	1	19,600 sq. ft.	1,960 sq. ft.	21,560 sq. ft.	1	21,560 sq. ft./unit	INDICATES 2 STORIES
94	1	19,800 sq. ft.	1,980 sq. ft.	21,780 sq. ft.	1	21,780 sq. ft./unit	INDICATES 2 STORIES
95	1	20,000 sq. ft.	2,000 sq. ft.	22,000 sq. ft.	1	22,000 sq. ft./unit	INDICATES 2 STORIES
96	1	20,200 sq. ft.	2,020 sq. ft.	22,220 sq. ft.	1	22,220 sq. ft./unit	INDICATES 2 STORIES
97	1	20,400 sq. ft.	2,040 sq. ft.	22,440 sq. ft.	1	22,440 sq. ft./unit	INDICATES 2 STORIES
98	1	20,600 sq. ft.	2,060 sq. ft.	22,660 sq. ft.	1	22,660 sq. ft./unit	INDICATES 2 STORIES
99	1	20,800 sq. ft.	2,080 sq. ft.	22,880 sq. ft.	1	22,880 sq. ft./unit	INDICATES 2 STORIES
100	1	21,000 sq. ft.	2,100 sq. ft.	23,100 sq. ft.	1	23,100 sq. ft./unit	INDICATES 2 STORIES

UNIT TYPE	600 SQ. FT.	800 SQ. FT.	1,000 SQ. FT.	1,200 SQ. FT.	1,400 SQ. FT.	1,600 SQ. FT.	1,800 SQ. FT.	2,000 SQ. FT.	2,200 SQ. FT.	2,400 SQ. FT.	2,600 SQ. FT.	2,800 SQ. FT.	3,000 SQ. FT.
1-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
2-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
3-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
4-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
5-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
6-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
7-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
8-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
9-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
10-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
11-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
12-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
13-BED	1	1	1	1	1	1	1	1	1	1	1	1	1
14-BED	1	1	1										



ESTIMATED EARTHWORK QUANTITIES
 1. EXCAVATION: 1,234,567 CU. YD.
 2. FILL: 876,543 CU. YD.
 3. ASPHALT: 12,345 SQ. YD.
 4. CONCRETE: 23,456 CU. YD.
 5. GRAVEL: 34,567 CU. YD.
 6. SAND: 45,678 CU. YD.
 7. SOIL: 56,789 CU. YD.
 8. ROCK: 67,890 CU. YD.
 9. BRICK: 78,901 CU. YD.
 10. TILE: 89,012 CU. YD.
 11. PAINT: 90,123 GAL.
 12. LUMBER: 101,234 CU. YD.
 13. IRON: 112,345 CU. YD.
 14. STEEL: 123,456 CU. YD.
 15. GLASS: 134,567 CU. YD.
 16. CERAMIC: 145,678 CU. YD.
 17. PLASTER: 156,789 CU. YD.
 18. GYPSUM: 167,890 CU. YD.
 19. CEMENT: 178,901 CU. YD.
 20. AGGREGATE: 189,012 CU. YD.
 21. ASPHALT: 190,123 CU. YD.
 22. CONCRETE: 201,234 CU. YD.
 23. GRAVEL: 212,345 CU. YD.
 24. SAND: 223,456 CU. YD.
 25. SOIL: 234,567 CU. YD.
 26. ROCK: 245,678 CU. YD.
 27. BRICK: 256,789 CU. YD.
 28. TILE: 267,890 CU. YD.
 29. PAINT: 278,901 GAL.
 30. LUMBER: 289,012 CU. YD.
 31. IRON: 290,123 CU. YD.
 32. STEEL: 301,234 CU. YD.
 33. GLASS: 312,345 CU. YD.
 34. CERAMIC: 323,456 CU. YD.
 35. PLASTER: 334,567 CU. YD.
 36. GYPSUM: 345,678 CU. YD.
 37. CEMENT: 356,789 CU. YD.
 38. AGGREGATE: 367,890 CU. YD.
 39. ASPHALT: 378,901 CU. YD.
 40. CONCRETE: 389,012 CU. YD.
 41. GRAVEL: 390,123 CU. YD.
 42. SAND: 401,234 CU. YD.
 43. SOIL: 412,345 CU. YD.
 44. ROCK: 423,456 CU. YD.
 45. BRICK: 434,567 CU. YD.
 46. TILE: 445,678 CU. YD.
 47. PAINT: 456,789 GAL.
 48. LUMBER: 467,890 CU. YD.
 49. IRON: 478,901 CU. YD.
 50. STEEL: 489,012 CU. YD.
 51. GLASS: 490,123 CU. YD.
 52. CERAMIC: 501,234 CU. YD.
 53. PLASTER: 512,345 CU. YD.
 54. GYPSUM: 523,456 CU. YD.
 55. CEMENT: 534,567 CU. YD.
 56. AGGREGATE: 545,678 CU. YD.
 57. ASPHALT: 556,789 CU. YD.
 58. CONCRETE: 567,890 CU. YD.
 59. GRAVEL: 578,901 CU. YD.
 60. SAND: 589,012 CU. YD.
 61. SOIL: 590,123 CU. YD.
 62. ROCK: 601,234 CU. YD.
 63. BRICK: 612,345 CU. YD.
 64. TILE: 623,456 CU. YD.
 65. PAINT: 634,567 GAL.
 66. LUMBER: 645,678 CU. YD.
 67. IRON: 656,789 CU. YD.
 68. STEEL: 667,890 CU. YD.
 69. GLASS: 678,901 CU. YD.
 70. CERAMIC: 689,012 CU. YD.
 71. PLASTER: 690,123 CU. YD.
 72. GYPSUM: 701,234 CU. YD.
 73. CEMENT: 712,345 CU. YD.
 74. AGGREGATE: 723,456 CU. YD.
 75. ASPHALT: 734,567 CU. YD.
 76. CONCRETE: 745,678 CU. YD.
 77. GRAVEL: 756,789 CU. YD.
 78. SAND: 767,890 CU. YD.
 79. SOIL: 778,901 CU. YD.
 80. ROCK: 789,012 CU. YD.
 81. BRICK: 790,123 CU. YD.
 82. TILE: 801,234 CU. YD.
 83. PAINT: 812,345 GAL.
 84. LUMBER: 823,456 CU. YD.
 85. IRON: 834,567 CU. YD.
 86. STEEL: 845,678 CU. YD.
 87. GLASS: 856,789 CU. YD.
 88. CERAMIC: 867,890 CU. YD.
 89. PLASTER: 878,901 CU. YD.
 90. GYPSUM: 889,012 CU. YD.
 91. CEMENT: 890,123 CU. YD.
 92. AGGREGATE: 901,234 CU. YD.
 93. ASPHALT: 912,345 CU. YD.
 94. CONCRETE: 923,456 CU. YD.
 95. GRAVEL: 934,567 CU. YD.
 96. SAND: 945,678 CU. YD.
 97. SOIL: 956,789 CU. YD.
 98. ROCK: 967,890 CU. YD.
 99. BRICK: 978,901 CU. YD.
 100. TILE: 989,012 CU. YD.
 101. PAINT: 990,123 GAL.
 102. LUMBER: 1,001,234 CU. YD.
 103. IRON: 1,012,345 CU. YD.
 104. STEEL: 1,023,456 CU. YD.
 105. GLASS: 1,034,567 CU. YD.
 106. CERAMIC: 1,045,678 CU. YD.
 107. PLASTER: 1,056,789 CU. YD.
 108. GYPSUM: 1,067,890 CU. YD.
 109. CEMENT: 1,078,901 CU. YD.
 110. AGGREGATE: 1,089,012 CU. YD.
 111. ASPHALT: 1,090,123 CU. YD.
 112. CONCRETE: 1,101,234 CU. YD.
 113. GRAVEL: 1,112,345 CU. YD.
 114. SAND: 1,123,456 CU. YD.
 115. SOIL: 1,134,567 CU. YD.
 116. ROCK: 1,145,678 CU. YD.
 117. BRICK: 1,156,789 CU. YD.
 118. TILE: 1,167,890 CU. YD.
 119. PAINT: 1,178,901 GAL.
 120. LUMBER: 1,189,012 CU. YD.
 121. IRON: 1,190,123 CU. YD.
 122. STEEL: 1,201,234 CU. YD.
 123. GLASS: 1,212,345 CU. YD.
 124. CERAMIC: 1,223,456 CU. YD.
 125. PLASTER: 1,234,567 CU. YD.
 126. GYPSUM: 1,245,678 CU. YD.
 127. CEMENT: 1,256,789 CU. YD.
 128. AGGREGATE: 1,267,890 CU. YD.
 129. ASPHALT: 1,278,901 CU. YD.
 130. CONCRETE: 1,289,012 CU. YD.
 131. GRAVEL: 1,290,123 CU. YD.
 132. SAND: 1,301,234 CU. YD.
 133. SOIL: 1,312,345 CU. YD.
 134. ROCK: 1,323,456 CU. YD.
 135. BRICK: 1,334,567 CU. YD.
 136. TILE: 1,345,678 CU. YD.
 137. PAINT: 1,356,789 GAL.
 138. LUMBER: 1,367,890 CU. YD.
 139. IRON: 1,378,901 CU. YD.
 140. STEEL: 1,389,012 CU. YD.
 141. GLASS: 1,390,123 CU. YD.
 142. CERAMIC: 1,401,234 CU. YD.
 143. PLASTER: 1,412,345 CU. YD.
 144. GYPSUM: 1,423,456 CU. YD.
 145. CEMENT: 1,434,567 CU. YD.
 146. AGGREGATE: 1,445,678 CU. YD.
 147. ASPHALT: 1,456,789 CU. YD.
 148. CONCRETE: 1,467,890 CU. YD.
 149. GRAVEL: 1,478,901 CU. YD.
 150. SAND: 1,489,012 CU. YD.
 151. SOIL: 1,490,123 CU. YD.
 152. ROCK: 1,501,234 CU. YD.
 153. BRICK: 1,512,345 CU. YD.
 154. TILE: 1,523,456 CU. YD.
 155. PAINT: 1,534,567 GAL.
 156. LUMBER: 1,545,678 CU. YD.
 157. IRON: 1,556,789 CU. YD.
 158. STEEL: 1,567,890 CU. YD.
 159. GLASS: 1,578,901 CU. YD.
 160. CERAMIC: 1,589,012 CU. YD.
 161. PLASTER: 1,590,123 CU. YD.
 162. GYPSUM: 1,601,234 CU. YD.
 163. CEMENT: 1,612,345 CU. YD.
 164. AGGREGATE: 1,623,456 CU. YD.
 165. ASPHALT: 1,634,567 CU. YD.
 166. CONCRETE: 1,645,678 CU. YD.
 167. GRAVEL: 1,656,789 CU. YD.
 168. SAND: 1,667,890 CU. YD.
 169. SOIL: 1,678,901 CU. YD.
 170. ROCK: 1,689,012 CU. YD.
 171. BRICK: 1,690,123 CU. YD.
 172. TILE: 1,701,234 CU. YD.
 173. PAINT: 1,712,345 GAL.
 174. LUMBER: 1,723,456 CU. YD.
 175. IRON: 1,734,567 CU. YD.
 176. STEEL: 1,745,678 CU. YD.
 177. GLASS: 1,756,789 CU. YD.
 178. CERAMIC: 1,767,890 CU. YD.
 179. PLASTER: 1,778,901 CU. YD.
 180. GYPSUM: 1,789,012 CU. YD.
 181. CEMENT: 1,790,123 CU. YD.
 182. AGGREGATE: 1,801,234 CU. YD.
 183. ASPHALT: 1,812,345 CU. YD.
 184. CONCRETE: 1,823,456 CU. YD.
 185. GRAVEL: 1,834,567 CU. YD.
 186. SAND: 1,845,678 CU. YD.
 187. SOIL: 1,856,789 CU. YD.
 188. ROCK: 1,867,890 CU. YD.
 189. BRICK: 1,878,901 CU. YD.
 190. TILE: 1,889,012 CU. YD.
 191. PAINT: 1,890,123 GAL.
 192. LUMBER: 1,901,234 CU. YD.
 193. IRON: 1,912,345 CU. YD.
 194. STEEL: 1,923,456 CU. YD.
 195. GLASS: 1,934,567 CU. YD.
 196. CERAMIC: 1,945,678 CU. YD.
 197. PLASTER: 1,956,789 CU. YD.
 198. GYPSUM: 1,967,890 CU. YD.
 199. CEMENT: 1,978,901 CU. YD.
 200. AGGREGATE: 1,989,012 CU. YD.
 201. ASPHALT: 1,990,123 CU. YD.
 202. CONCRETE: 2,001,234 CU. YD.
 203. GRAVEL: 2,012,345 CU. YD.
 204. SAND: 2,023,456 CU. YD.
 205. SOIL: 2,034,567 CU. YD.
 206. ROCK: 2,045,678 CU. YD.
 207. BRICK: 2,056,789 CU. YD.
 208. TILE: 2,067,890 CU. YD.
 209. PAINT: 2,078,901 GAL.
 210. LUMBER: 2,089,012 CU. YD.
 211. IRON: 2,090,123 CU. YD.
 212. STEEL: 2,101,234 CU. YD.
 213. GLASS: 2,112,345 CU. YD.
 214. CERAMIC: 2,123,456 CU. YD.
 215. PLASTER: 2,134,567 CU. YD.
 216. GYPSUM: 2,145,678 CU. YD.
 217. CEMENT: 2,156,789 CU. YD.
 218. AGGREGATE: 2,167,890 CU. YD.
 219. ASPHALT: 2,178,901 CU. YD.
 220. CONCRETE: 2,189,012 CU. YD.
 221. GRAVEL: 2,190,123 CU. YD.
 222. SAND: 2,201,234 CU. YD.
 223. SOIL: 2,212,345 CU. YD.
 224. ROCK: 2,223,456 CU. YD.
 225. BRICK: 2,234,567 CU. YD.
 226. TILE: 2,245,678 CU. YD.
 227. PAINT: 2,256,789 GAL.
 228. LUMBER: 2,267,890 CU. YD.
 229. IRON: 2,278,901 CU. YD.
 230. STEEL: 2,289,012 CU. YD.
 231. GLASS: 2,290,123 CU. YD.
 232. CERAMIC: 2,301,234 CU. YD.
 233. PLASTER: 2,312,345 CU. YD.
 234. GYPSUM: 2,323,456 CU. YD.
 235. CEMENT: 2,334,567 CU. YD.
 236. AGGREGATE: 2,345,678 CU. YD.
 237. ASPHALT: 2,356,789 CU. YD.
 238. CONCRETE: 2,367,890 CU. YD.
 239. GRAVEL: 2,378,901 CU. YD.
 240. SAND: 2,389,012 CU. YD.
 241. SOIL: 2,390,123 CU. YD.
 242. ROCK: 2,401,234 CU. YD.
 243. BRICK: 2,412,345 CU. YD.
 244. TILE: 2,423,456 CU. YD.
 245. PAINT: 2,434,567 GAL.
 246. LUMBER: 2,445,678 CU. YD.
 247. IRON: 2,456,789 CU. YD.
 248. STEEL: 2,467,890 CU. YD.
 249. GLASS: 2,478,901 CU. YD.
 250. CERAMIC: 2,489,012 CU. YD.
 251. PLASTER: 2,490,123 CU. YD.
 252. GYPSUM: 2,501,234 CU. YD.
 253. CEMENT: 2,512,345 CU. YD.
 254. AGGREGATE: 2,523,456 CU. YD.
 255. ASPHALT: 2,534,567 CU. YD.
 256. CONCRETE: 2,545,678 CU. YD.
 257. GRAVEL: 2,556,789 CU. YD.
 258. SAND: 2,567,890 CU. YD.
 259. SOIL: 2,578,901 CU. YD.
 260. ROCK: 2,589,012 CU. YD.
 261. BRICK: 2,590,123 CU. YD.
 262. TILE: 2,601,234 CU. YD.
 263. PAINT: 2,612,345 GAL.
 264. LUMBER: 2,623,456 CU. YD.
 265. IRON: 2,634,567 CU. YD.
 266. STEEL: 2,645,678 CU. YD.
 267. GLASS: 2,656,789 CU. YD.
 268. CERAMIC: 2,667,890 CU. YD.
 269. PLASTER: 2,678,901 CU. YD.
 270. GYPSUM: 2,689,012 CU. YD.
 271. CEMENT: 2,690,123 CU. YD.
 272. AGGREGATE: 2,701,234 CU. YD.
 273. ASPHALT: 2,712,345 CU. YD.
 274. CONCRETE: 2,723,456 CU. YD.
 275. GRAVEL: 2,734,567 CU. YD.
 276. SAND: 2,745,678 CU. YD.
 277. SOIL: 2,756,789 CU. YD.
 278. ROCK: 2,767,890 CU. YD.
 279. BRICK: 2,778,901 CU. YD.
 280. TILE: 2,789,012 CU. YD.
 281. PAINT: 2,790,123 GAL.
 282. LUMBER: 2,801,234 CU. YD.
 283. IRON: 2,812,345 CU. YD.
 284. STEEL: 2,823,456 CU. YD.
 285. GLASS: 2,834,567 CU. YD.
 286. CERAMIC: 2,845,678 CU. YD.
 287. PLASTER: 2,856,789 CU. YD.
 288. GYPSUM: 2,867,890 CU. YD.
 289. CEMENT: 2,878,901 CU. YD.
 290. AGGREGATE: 2,889,012 CU. YD.
 291. ASPHALT: 2,890,123 CU. YD.
 292. CONCRETE: 2,901,234 CU. YD.
 293. GRAVEL: 2,912,345 CU. YD.
 294. SAND: 2,923,456 CU. YD.
 295. SOIL: 2,934,567 CU. YD.
 296. ROCK: 2,945,678 CU. YD.
 297. BRICK: 2,956,789 CU. YD.
 298. TILE: 2,967,890 CU. YD.
 299. PAINT: 2,978,901 GAL.
 300. LUMBER: 2,989,012 CU. YD.
 301. IRON: 2,990,123 CU. YD.
 302. STEEL: 3,001,234 CU. YD.
 303. GLASS: 3,012,345 CU. YD.
 304. CERAMIC: 3,023,456 CU. YD.
 305. PLASTER: 3,034,567 CU. YD.
 306. GYPSUM: 3,045,678 CU. YD.
 307. CEMENT: 3,056,789 CU. YD.
 308. AGGREGATE: 3,067,890 CU. YD.
 309. ASPHALT: 3,078,901 CU. YD.
 310. CONCRETE: 3,089,012 CU. YD.
 311. GRAVEL: 3,090,123 CU. YD.
 312. SAND: 3,101,234 CU. YD.
 313. SOIL: 3,112,345 CU. YD.
 314. ROCK: 3,123,456 CU. YD.
 315. BRICK: 3,134,567 CU. YD.
 316. TILE: 3,145,678 CU. YD.
 317. PAINT: 3,156,789 GAL.
 318. LUMBER: 3,167,890 CU. YD.
 319. IRON: 3,178,901 CU. YD.
 320. STEEL: 3,189,012 CU. YD.
 321. GLASS: 3,190,123 CU. YD.
 322. CERAMIC: 3,201,234 CU. YD.
 323. PLASTER: 3,212,345 CU. YD.
 324. GYPSUM: 3,223,456 CU. YD.
 325. CEMENT: 3,234,567 CU. YD.
 326. AGGREGATE: 3,245,678 CU. YD.
 327. ASPHALT: 3,256,789 CU. YD.
 328. CONCRETE: 3,267,890 CU. YD.
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 330. SAND: 3,289,012 CU. YD.
 331. SOIL: 3,290,123 CU. YD.
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 333. BRICK: 3,312,345 CU. YD.
 334. TILE: 3,323,456 CU. YD.
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 343. CEMENT: 3,412,345 CU. YD.
 344. AGGREGATE: 3,423,456 CU. YD.
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 346. CONCRETE: 3,445,678 CU. YD.
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 375. GLASS: 3,734,567 CU. YD.
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 378. GYPSUM: 3,767,890 CU. YD.
 379. CEMENT: 3,778,901 CU. YD.
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 385. SOIL: 3,834,567 CU. YD.
 386. ROCK: 3,845,678 CU. YD.
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 388. TILE: 3,867,890 CU. YD.
 389. PAINT: 3,878,901 GAL.
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 392. STEEL: 3,901,234 CU. YD.
 393. GLASS: 3,912,345 CU. YD.
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 422. ROCK: 4,201,234 CU. YD.
 423. BRICK: 4,212,345 CU. YD.
 424. TILE: 4,223,456 CU. YD.
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 426. LUMBER: 4,245,678 CU. YD.
 427. IRON: 4,256,789 CU. YD.
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 429. GLASS: 4,278,901 CU. YD.
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 431. PLASTER: 4,290,123 CU. YD.
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 439. SOIL: 4,378,901 CU. YD.
 440. ROCK: 4,389,012 CU. YD.
 441. BRICK: 4,390,123 CU. YD.
 442. TILE: 4,401,234 CU. YD.<

DAVID GOLDSTEN ARCHITECT ARCHITECTS
 1000 West 10th Street
 Santa Ana, CA 92701
 (949) 441-1331



Professional Seal
 State of California
 License No. 1210

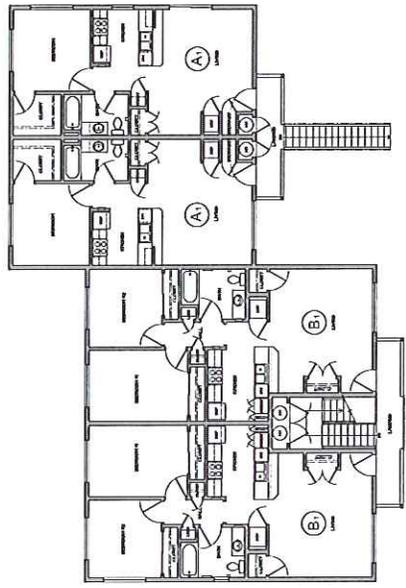
BUELLTON APARTMENTS

SECOND STREET
 BUELLTON, CA

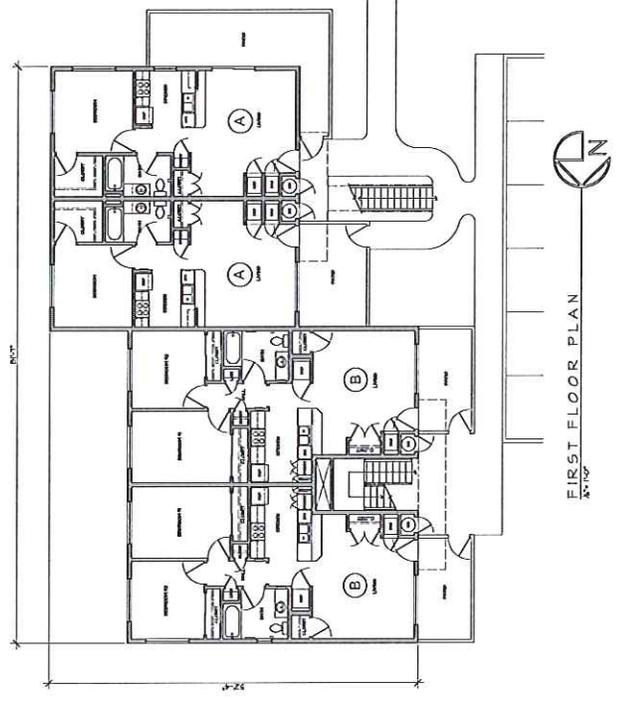


PROJECT:	12-12-12
DATE:	R.A.
SCALE:	1/2" = 1'-0"
PROJECT NO.:	
DATE:	
BY:	
CHECKED BY:	
DATE:	

A4.7

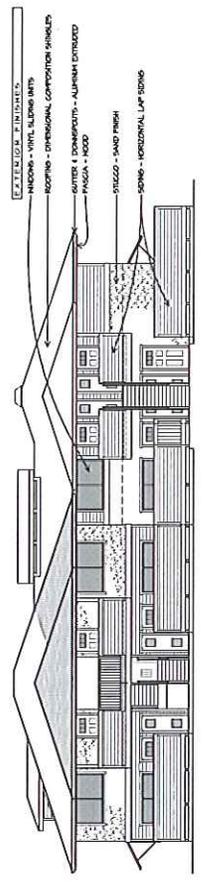


SECOND FLOOR PLAN
 3/8" = 1'-0"



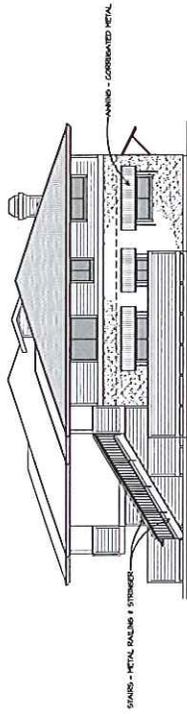
FIRST FLOOR PLAN
 3/8" = 1'-0"

BUILDING 5

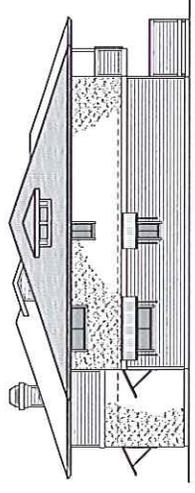


WEST ELEVATION
 3/8" = 1'-0"

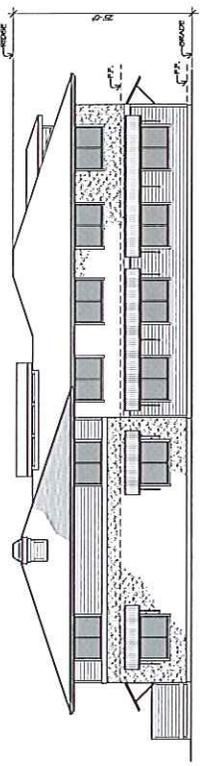
- EXTERIOR FINISHES:
- ROOFING - VINYL SLATE IMIT.
- ROOFING - DIMENSIONAL COMPOSITION SHINGLES
- WALLS - STUCCO
- WALLS - CONCRETE - ALUMINUM EXTRUDED
- WALLS - MASONRY
- WALLS - STUCCO
- WALLS - SAND FINISH
- WALLS - HORIZONTAL LAP SIDING



SOUTH ELEVATION
 3/8" = 1'-0"



NORTH ELEVATION
 3/8" = 1'-0"



EAST ELEVATION
 3/8" = 1'-0"

DAVID
GOLDSTEN
ARCHITECT
ARCHITECTS
100 Main Plaza
Suite 100
Buellton, CA 94708
805.438.1311



Professional Seal
Architect
No. 12345
State of California
Expires 12/31/2010

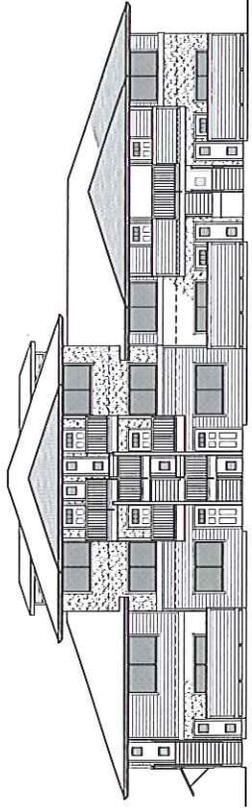
BUJELTON
APARTMENTS

SECOND STREET
BUJELTON, CA

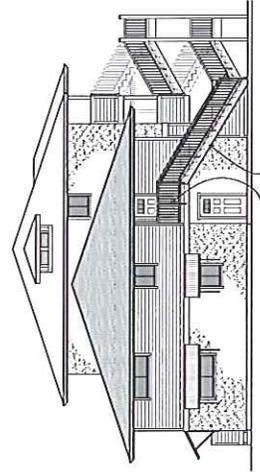


PROJECT:	
DATE:	12-1-12
REVISION:	R A
SHEET:	1210
TITLE:	

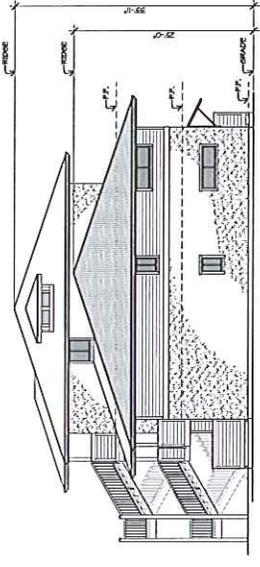
A4.6



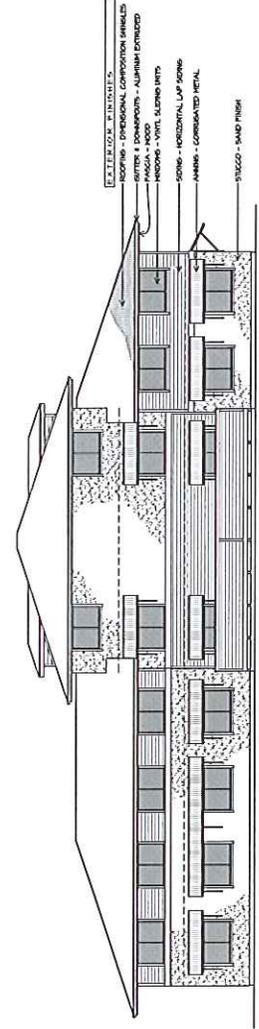
EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

- EXTERIOR MATERIALS
- ROOFING - PERFORATED CORRUGATED METAL
 - ENTRANCE & DOWNPOUTS - ALUMINUM EXTRUDED
 - ROOFING - VERTICAL SLATING ENTRY
 - ROOFING - HORIZONTAL LAP SIDING
 - WALLS - CORRUGATED METAL
 - STUCCO - SAND FINISH

BUILDING 4

DAVID
GOLDSTEN
ARCHITECT
U.S.A.

100 Adams Plaza
Suite 200
Berkeley, CA 94704
PH: 415.841.1301



Professional Seal
Architect
No. 12345
State of California
Expires 12/31/2010

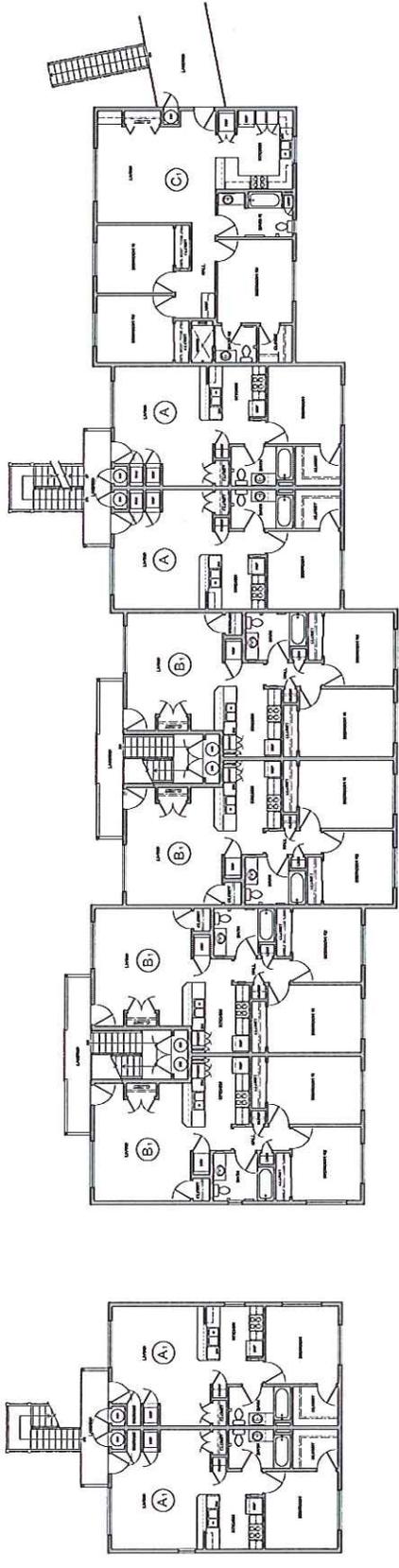
BUELLTON
APARTMENTS

SECOND STREET
BUELLTON, CA



PROJECT NO.	12-102
DATE	12-10-10
SCALE	AS SHOWN
DESIGNED BY	D.G.
DRAWN BY	R.A.
CHECKED BY	D.G.
DATE	12-10-10

A4.3



THIRD FLOOR PLAN
8'-11 1/2" x 11'-0"

SECOND FLOOR PLAN
8'-11 1/2" x 11'-0"

FIRST FLOOR PLAN
8'-11 1/2" x 11'-0"

BUILDING 3

DAVID GOLDSTEN ARCHITECT
 INC. 111
 150 Adams Plaza
 Suite 100, CA 94604
 (415) 441-1331



Professional Seal
 David Goldsten
 Architect
 No. 10000
 State of California
 Expires 12/31/2010

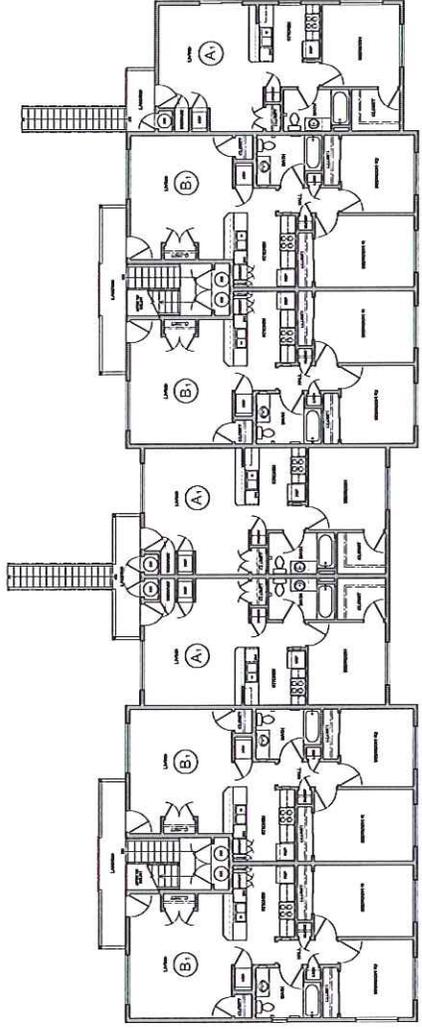
BUELLTON APARTMENTS

SECOND STREET
 BUELLTON, CA

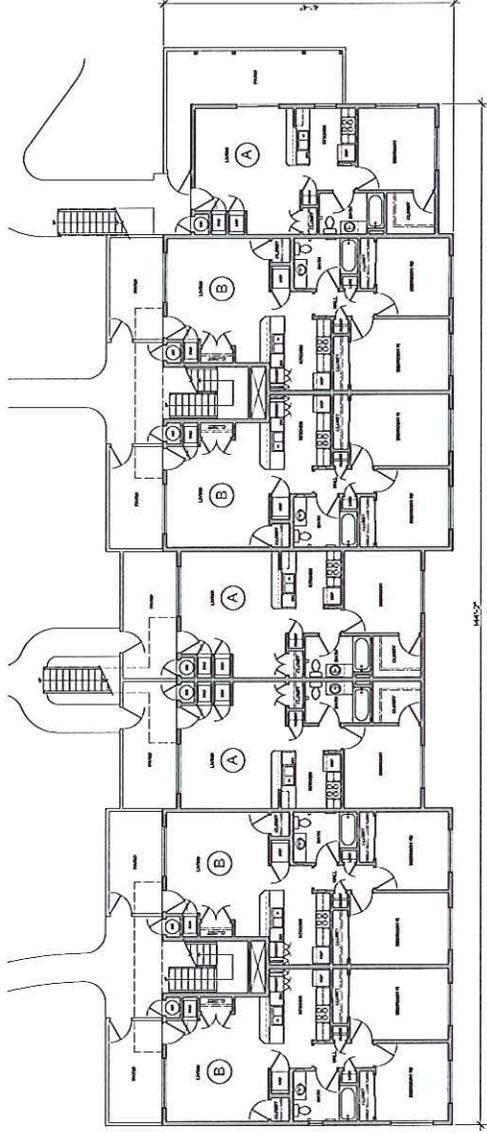


PROJECT	
DATE	12-7-12
DRAWN	R.A.
DATE	12-10
TITLE	

A4.0
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

BUILDING 1

DAVID
GOLDSTEN
ARCHITECT
P.C.

100 Alhambra Plaza
Suite 100
Alhambra, CA 91801

PH: 626.256.1311

FAX: 626.256.1312

WWW.DGA-ARCHITECT.COM

12/15/10

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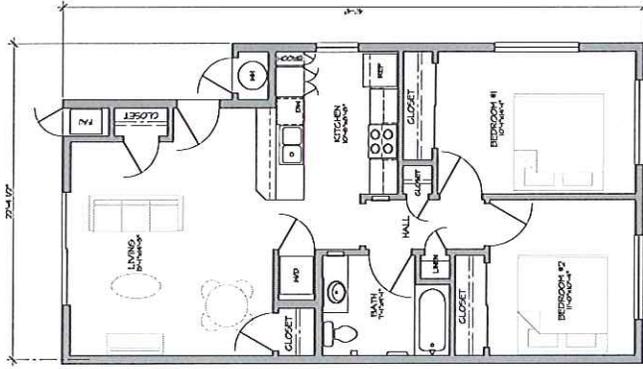
100 Alhambra Plaza
Suite 100
Alhambra, CA 91801
PH: 626.256.1311
FAX: 626.256.1312
WWW.DGA-ARCHITECT.COM

BUELLTON
APARTMENTS

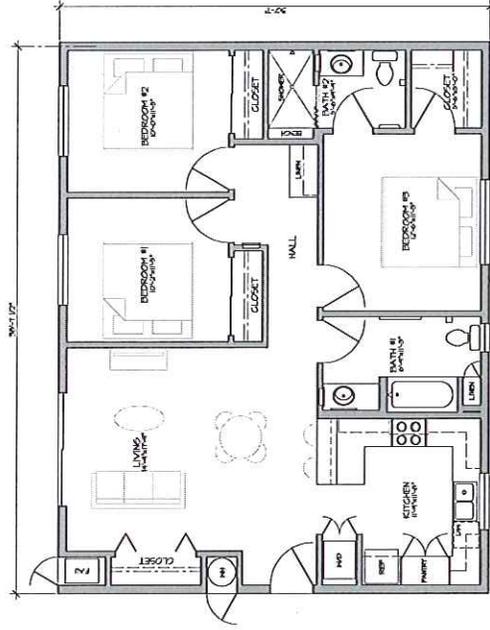
SECOND STREET
BUELLTON, CA



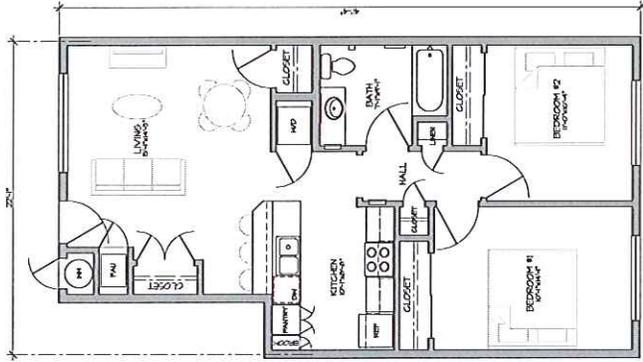
PROJECT:	
DATE:	12/15/10
BY:	R.A.
CHECKED:	
SCALE:	1/2" = 1'-0"
TITLE:	A2.0



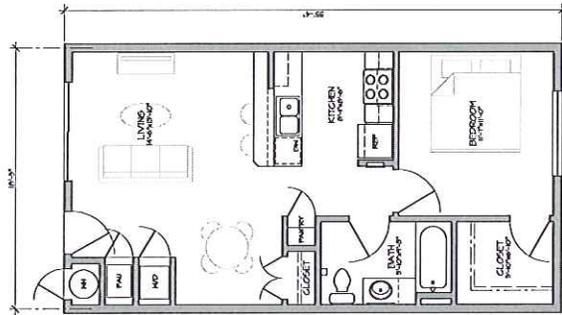
TYPICAL **D** UNIT FLOOR PLAN
35'-10"



TYPICAL **C** UNIT FLOOR PLAN
35'-10"



TYPICAL **B** UNIT FLOOR PLAN
35'-10"



TYPICAL **A** UNIT FLOOR PLAN
35'-10"

NOTE: ALL FIRST FLOOR UNITS ARE HANDICAP ACCESSIBLE & ADAPTABLE

TYPICAL UNIT TYPE PLANS

DAVID
GOLDSTEN
ARCHITECT
ARCHITECT

100 Alameda Plaza
Suite 100
Berkeley, CA 94704
(415) 841-0311



Professional Seal
Architect
No. 1210
State of California
Expires 12/31/10

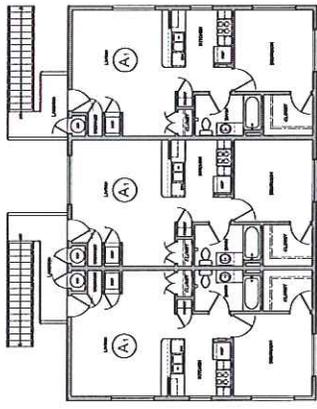
BUELLTON
APARTMENTS

SECOND STREET
BUELLTON, CA

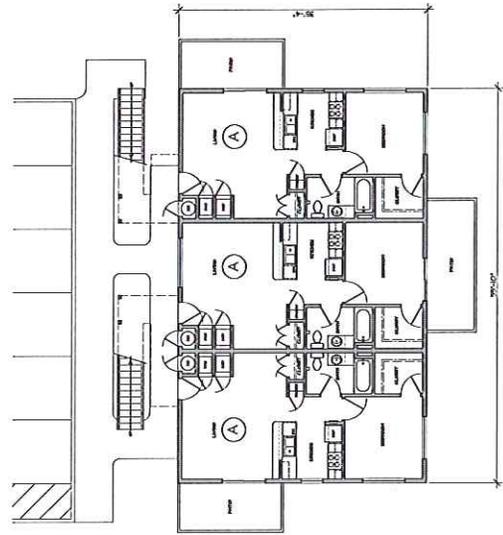


PROJECT	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
SCALE	DATE

A4.8

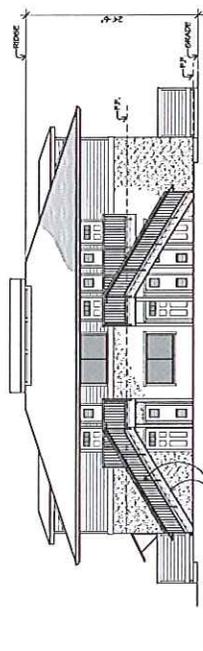


SECOND FLOOR PLAN
1/8"=1'-0"

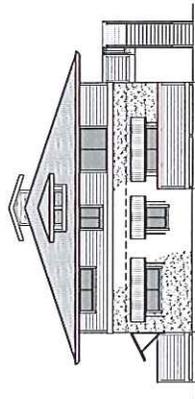


FIRST FLOOR PLAN
1/8"=1'-0"

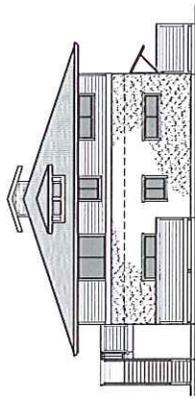
BUILDING 6



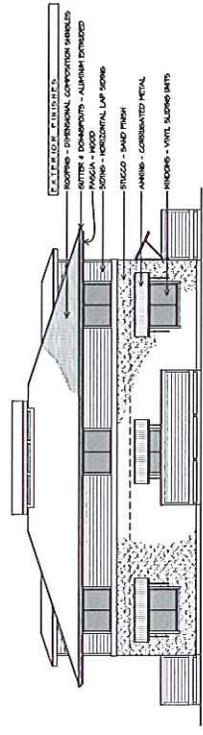
EAST ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"



NORTH ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"

- CEILING - UNPAINTED
- WALLS - UNPAINTED
- ENTRANCE - ALUMINUM ENTRANCE
- WINDOWS - ALUMINUM
- ROOF - SAND PAPER
- ROOFING - CORRUGATED METAL
- ROOFING - VENT SLATS
- ROOFING - VENT SLATS

PLEINAIRE

DESIGN GROUP

2015 Showers Drive, Suite B
 Santa Maria, California 93455-1414
 RLA 2929
 www.pleinairellc.com
 Phone: 805.819.9657 Fax: 805.928.4689

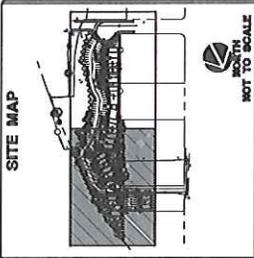


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2ND STREET APARTMENTS

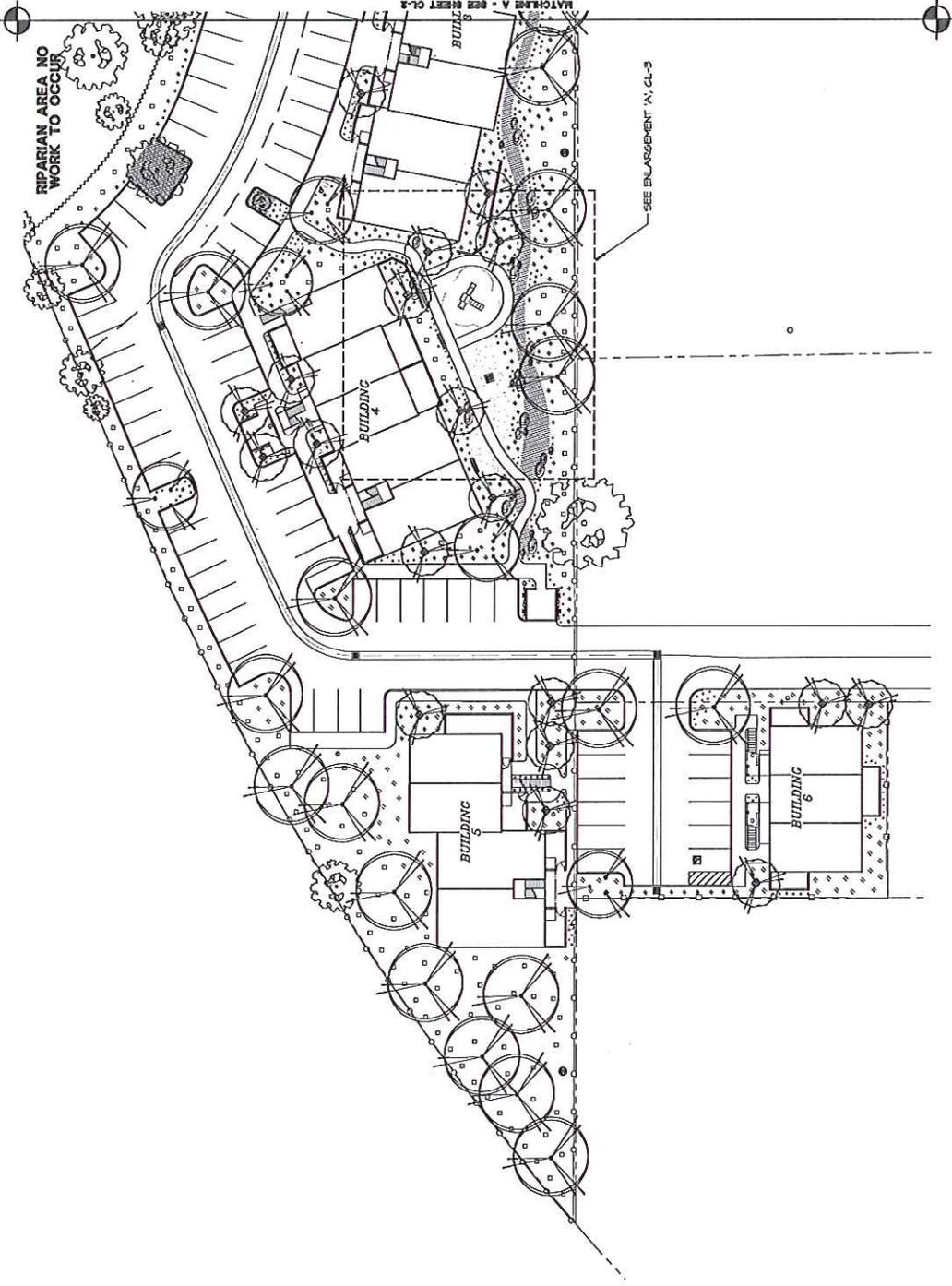
BUELLTON, CA

Date:



PLANT LEGEND:

<input type="checkbox"/> TREES	Accent Tree	<input type="checkbox"/> SHRUBS	Small Shrub	<input type="checkbox"/> GROUNDCOVERS	Low Substrate
	Canopy Tree		Medium Shrub		Low-maintenance Grasses
	Small Scale Tree		Large Shrub		Low-growing/Flowering Groundcover
	Flowering Tree		Climbing Vine		Bark Mulch
	Street Tree		Flowering Vine/Escaper		Turf



CONCEPTUAL LANDSCAPE PLAN 'A'

Project No: 21007
 Date: 12.06.12

CL-1



PLEINAIRE

DESIGN GROUP

2615 Skyway Drive, Suite B
 Santa Maria, California 94551-1414
 RLA 2920
 www.pleinaire.com
 Phone: 805-349-8957 Fax: 805-328-6689

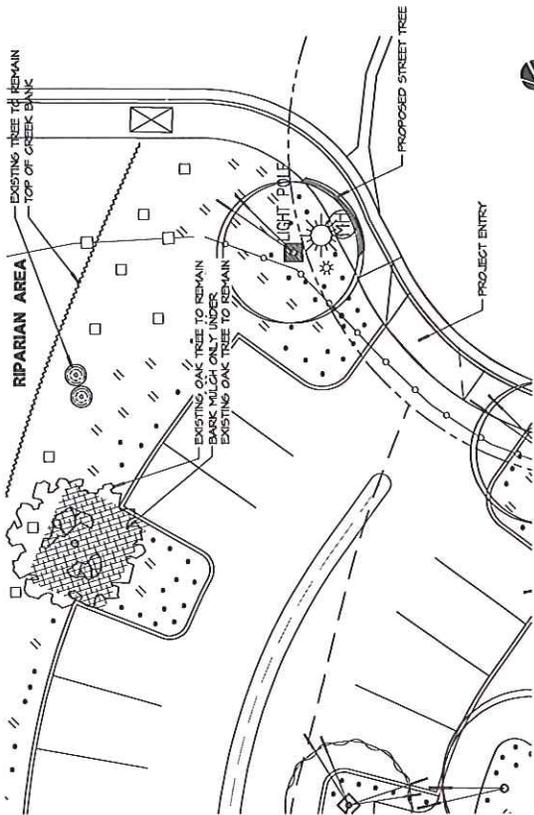


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2ND STREET APARTMENTS

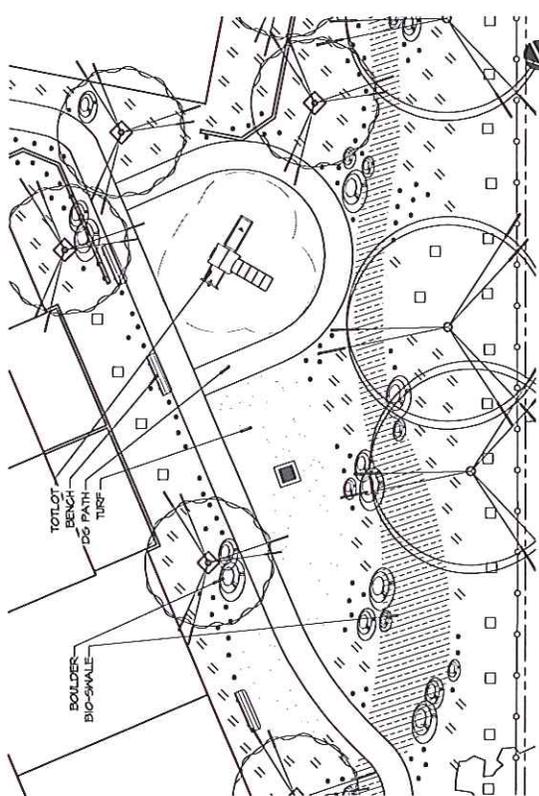
BUELLTON, CA

Date:



SCALE: 1/8" = 1'-0"

ENLARGEMENT 'B'



SCALE: 1/8" = 1'-0"

ENLARGEMENT 'A'



ENLARGEMENTS

Project No.	12.06.12
Sheet	CL-3

CL-3

PLEINAIRE
DESIGN GROUP

2615 Skyway Drive, Suite B
Serra Mar, California 94455-4114
RCA, 2929
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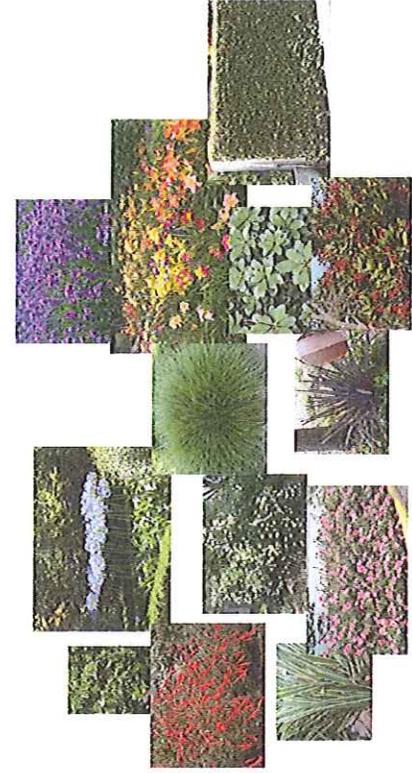


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2ND STREET APARTMENTS

BUELLTON, CA

Owner:



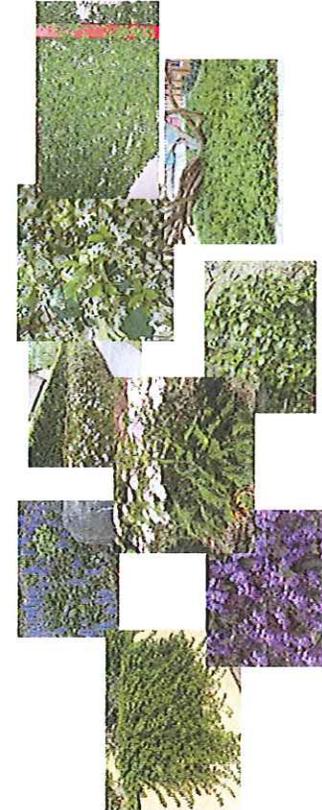
SHRUBS



TREES



SITE FEATURES



VINES & GROUNDCOVERS

LANDSCAPE IMAGERY

Project No: 21887
Date: 11.06.12
Page Number:

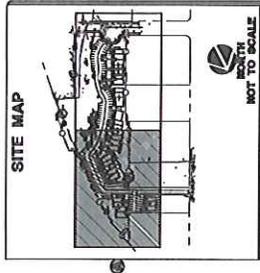
CL-5



2ND STREET APARTMENTS
BELLTON, CA

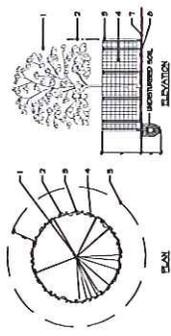
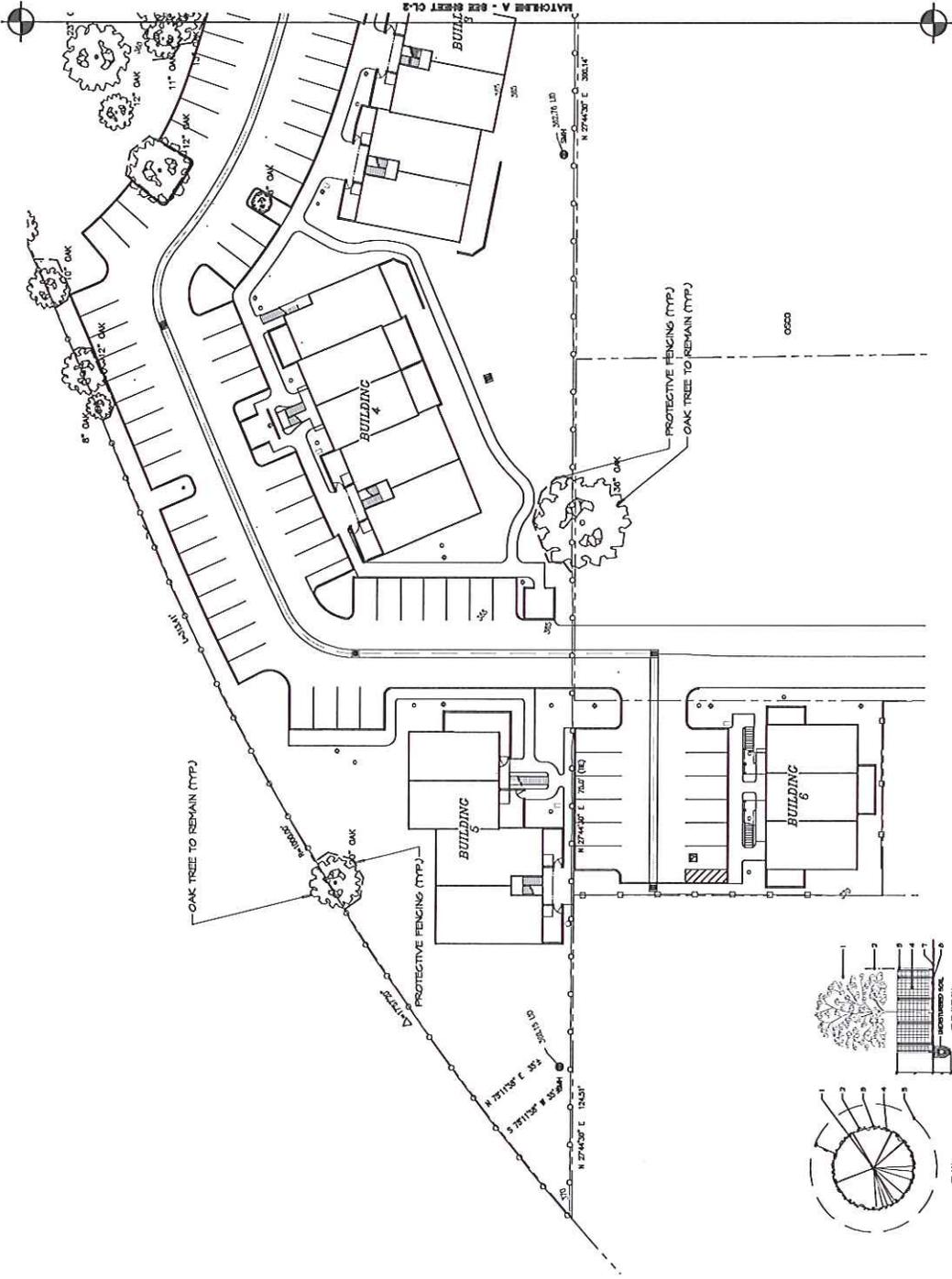
TREE PROTECTION PLAN 'A'

BELLTON, CA



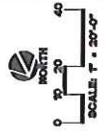
TREE PRESERVATION NOTES:

- PRIOR TO THE BEGINNING OF GRADING AND PILING ALL CONSTRUCTION, TEMPORARY ORANGE PLASTIC FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES TO BE PRESERVED. ACCESS AND DELICATE AREAS OF NONDISRUPTANCE. ACCESS AND DELICATE AREAS OF NONDISRUPTANCE SHALL BE IN ACCORDANCE TO THE MOST CURRENT STANDARDS OF THE SOCIETY OF ARBORICULTURE. PRIOR TO BEGINNING WORK OR ANY EXCAVATION THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT (800) 645-5444 TO DETERMINE THE LOCATION OF ALL UTILITIES. NO WORK SHALL OCCUR OUTSIDE THE PROJECT PROPERTY WITHOUT THE PERMISSION OF THE PROPERTY OWNER. NO CONSTRUCTION, STORAGE OF MATERIALS AND/OR EXCAVATION SHALL BE PERMITTED WITHIN THE TEMPORARY ORANGE PLASTIC FENCING. IF ANY DISCREPANCY ARISES ON SITE REGARDING TREE STATUS, THE TREE PRESERVATION PLAN SHALL TAKE PRECEDENCE OVER ANY CONTRACT ADDENDUM FOR CLARIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY OF THE TREES, THEN THE FOLLOWING PRECAUTIONS MUST BE OBSERVED:
 - ALL POSSIBLE CARE TO AVOID INJURY TO TREES TO EXISTING TREES, THE CONTRACTOR SHALL USE THE FOLLOWING PRECAUTIONS:
 - AND LARGER ROOTS OCCUR SHALL BE DONE BY DIRECTLY IN THE PATH OF THE PIPE OR CONDUIT. ALL ROOTS TWO (2) INCHES OR LESS IN DIAMETER SHALL BE CUT AND REMOVED UNDER THE DIRECTION OF AN APPROVED ARBORIST.
 - WHERE BY ALL OTHERS SHALL BE TRAVELED UNDER PROTECTIVE FENCING OR PROTECTED WITH BURLAP TO PREVENT DAMAGE TO THE TREE. WHERE A DITCHING MACHINE IS RUN CLOSE TO TREES, THE OPERATOR SHALL BE ADVISED THAT THE DITCHING MACHINE SHALL BE HAND TRIMMED, HANDING CLEAN CUTS THROUGH.
 - WHERE BY ALL OTHERS SHALL BE TRAVELED WITHIN TWENTY FOUR (24) HOURS AND MORE NOT POSSIBLE THE SIDE OF THE TRENCH ADJACENT TO THE CANVAS.
 - ANY DISCREPANCIES AND OR QUESTIONS THAT MAY ARISE SHALL BE REFERRED TO THE LANDSCAPE ARCHITECT OR ARBORIST WITHIN 24 HOURS.
 - TREES SHALL BE PROTECTED OR REMOVED PER TREE STATUS AS DETERMINED BY APPROVED ARBORIST.
 - ALL EXISTING ARBORIST AND ARBORICULTURE SHALL BE REMOVED UNLESS NOTED ON THE PLAN TO REMAIN. PROPOSED BUILDING WITHIN FIVE (5) FEET OF PROPOSED BUILDING WITHIN PROTECTED FROM STUCCO OR PAINT DURING CONSTRUCTION.



- LEGEND:**
- EXISTING TREE TO REMAIN AS DETERMINED ON PLANS.
 - TREE DRAIN LINE.
 - NEWLY DRAIN LINE, 1" SLOPE TO COLLECT DRAINAGE INTO EXISTING DRAINAGE SYSTEM, WHERE POSSIBLE.
 - CONTRACTOR SHALL MAINTAIN PROTECTIVE FENCING AT ALL TIMES.
 - PROTECTIVE FENCING SHALL BE INSTALLED WITHIN 24 HOURS OF TREE REMOVAL.
 - TREES TO BE REMOVED SHALL BE IDENTIFIED BY THE FIELD BY THE CONTRACTOR.
 - EXISTING ARBORIST.
 - PROPOSED BUILDING WITHIN PROTECTED FROM STUCCO OR PAINT DURING CONSTRUCTION.

PROTECTIVE FENCING DETAIL



TREE PROTECTION PLAN 'A'

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