



CITY OF BUELLTON

CITY COUNCIL AGENDA

**Regular Meeting of August 11, 2016 at 6:00 p.m.
City Council Chambers, 140 West Highway 246
Buellton, California**

Materials related to an item on this agenda, as well as materials submitted to the City Council after distribution of the agenda packet, are available for public inspection in the Office of the City Clerk, located at 107 West Highway 246, during normal business hours.

CALL TO ORDER

Mayor Ed Andrisek

PLEDGE OF ALLEGIANCE

ROLL CALL

Council Members John Connolly, Leo Elovitz, Holly Sierra, Vice Mayor Dan Baumann, and Mayor Ed Andrisek

REORDERING OF AGENDA

PUBLIC COMMENTS

Speaker Slip to be completed and turned in to the City Clerk prior to commencement of meeting. Any person may address the Council on any subject pertaining to City business, including all items on the agenda not listed as a Public Hearing, including the Consent Agenda and Closed Session. Limited to three (3) minutes per speaker. By law, no action may be taken at this meeting on matters raised during Public Comments not included on this agenda.

CONSENT CALENDAR

(ACTION)

The following items are considered routine and non-controversial and are scheduled for consideration as a group. Any Council Member, the City Attorney, or the City Manager may request that an item be withdrawn from the Consent Agenda to allow for full discussion. Members of the Public may speak on Consent Agenda items during the Public Comment period.

- 1. Minutes of July 28, 2016 City Council Meeting**
- 2. List of Claims to be Approved and Ratified for Payment to Date for Fiscal Year 2016-17**

PRESENTATIONS

PUBLIC HEARINGS

COUNCIL MEMBER COMMENTS

COUNCIL ITEMS

WRITTEN COMMUNICATIONS

Written communications are included in the agenda packets. Any Council Member, the City Manager or City Attorney may request that a written communication be read into the record.

COMMITTEE REPORTS

This Agenda listing is the opportunity for Council Members to give verbal Committee Reports on any meetings recently held for which the Council Members are the City representatives thereto.

BUSINESS ITEMS**(POSSIBLE ACTION)**

3. **Discussion Regarding Basketball Hoops in the Public Right-of-Way**
❖ (Staff Contact: City Manager Marc Bierdzinski)
4. **Discussion and Possible Award of Contract Regarding Engineering Services**
❖ (Staff Contact: Public Works Director Rose Hess)
5. **Discussion of Permit Process for Flying Flags RV Resort**
❖ (Staff Contact: City Attorney Steve McEwen)

CITY MANAGER'S REPORT**CLOSED SESSION ITEMS****(POSSIBLE ACTION)**

6. **CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION**
(Government Code Section 54956.9(a))
Terravant Wine Company, LLC v. City of Buellton, et al., Santa Barbara County Superior Court Case No. 16CV00839
Environment in the Public Interest v. City of Buellton, et al., Santa Barbara County Superior Court Case No. 16CV00883
7. **Closed Session - California Government Code Section 54957 regarding:**
PUBLIC EMPLOYEE PERFORMANCE EVALUATION (SIX MONTH REVIEW)
Title: City Manager

ADJOURNMENT

The next meeting of the City Council will be held on Thursday, August 25, 2016 at 6:00 p.m.

CITY OF BUELLTON

CITY COUNCIL MEETING MINUTES

Regular Meeting of July 28, 2016
City Council Chambers, 140 West Highway 246
Buellton, California

CALL TO ORDER

Mayor Ed Andrisek called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

Present: Council Members Leo Elovitz and Holly Sierra, Vice Mayor Dan Baumann and Mayor Ed Andrisek

Excused Absence: Council Member John Connolly

Staff: City Manager Marc Bierdzinski, Finance Director Carolyn Galloway-Cooper, Public Works Director Rose Hess, Assistant City Attorney Erica Vega, Station Commander Lt. Shawn O'Grady, and City Clerk Linda Reid

REORDERING OF AGENDA

None

PUBLIC COMMENTS

None

CONSENT CALENDAR

1. **Minutes of July 14, 2016 Regular City Council Meeting**
2. **List of Claims to be Approved and Ratified for Payment to Date for Fiscal Years 2016-17**

MOTION:

Motion by Council Member Sierra, seconded by Council Member Elovitz approving Consent Calendar Items 1 and 2 as listed.

VOTE:

Motion passed by a roll call vote of 4-0.
Council Member Elovitz – Yes
Council Member Sierra – Yes
Vice Mayor Baumann – Yes
Mayor Andrisek – Yes

PRESENTATIONS

None

PUBLIC HEARINGS

- 3. **Ordinance No. 16-03 – “An Ordinance of the City Council of the City of Buellton, California, Revising Title 19 (Zoning) of the Buellton Municipal Code (16-ZOA-02) Relating to Sections 19.08.100.E (Zoning Clearance Time Limits), 19.08.110.E (Use Permit Time Limits), and 19.08.120.H (Development Plan Time Limits)” (Introduction and First Reading)**

RECOMMENDATION:

That the City Council consider the introduction and first reading of Ordinance No. 16-03.

STAFF REPORT:

City Manager Bierdzinski presented the staff report.

SPEAKERS/DISCUSSION:

Mayor Andrisek opened the public hearing at 6:06 p.m. The item was continued to the Council Meeting of August 25.

The City Council discussed the details of the ordinance, the reason it was brought to Council, and requested clarification from the City Attorney.

DOCUMENTS:

Staff report with attachments as listed in the staff report.

MOTION:

Motion by Council Member Elovitz, seconded by Mayor Andrisek continuing the introduction and first reading of Ordinance No. 16-03 – “An Ordinance of the City Council of the City of Buellton, California, Revising Title 19 (Zoning) of the Buellton Municipal Code (16-ZOA-02) Relating to Sections 19.08.100.E (Zoning Clearance Time Limits), 19.08.110.E (Use Permit Time Limits), and 19.08.120.H (Development Plan Time Limits)” to the Council meeting of August 25, 2016.

VOTE:

Motion passed by a voice vote of 3-1.

Council Member Elovitz - Yes

Council Member Sierra - No

Vice Mayor Baumann - Yes

Mayor Andrisek – Yes

COUNCIL MEMBER COMMENTS/ITEMS

Council Member Sierra stated the Buellton Historical Society installed historical markers around town and invited everyone to view them. Ms. Sierra also announced the Buellton BBQ Bonanza is scheduled for Saturday, July 30 from 11:00 a.m. to 2:00 p.m. at River View Park.

Council Member Elovitz requested that staff agendize discussion regarding allowing portable basketball hoops to remain in the public right of way. The Council agreed by consensus to agendize this issue at an upcoming meeting.

WRITTEN COMMUNICATIONS

None

COMMITTEE REPORTS

Council Member Sierra announced that she attended a board meeting for Santa Barbara County Association of Governments (SBCAG) and provided an oral report regarding the meeting.

Mayor Andrisek announced that he attended the California Joint Powers Insurance Authority (CJPIA)'s annual board meeting on July 20 and provided an oral report regarding the meeting.

Mayor Andrisek announced that he attended the Central Coast Water Authority (CCWA) Board meeting and provided an oral report regarding the meeting.

BUSINESS ITEMS

- 4. Receive Final 2016 Water and Wastewater Rate Studies and Approve the Proposition 218 Notice of Public Hearing for Water and Wastewater Rates**

RECOMMENDATION:

That the City Council receive the final Water and Wastewater Rate Studies, approve the Prop 218 Notice of Proposed Water and Wastewater Rates and direct staff to mail to property owners, and set the Public Hearing for September 22, 2016.

STAFF REPORT:

Public Works Director Hess presented the staff report.

DOCUMENTS:

Staff report with attachments as listed in the staff report.

SPEAKERS/DISCUSSION:

Lynn Takaichi of Water Consultancy discussed the water/wastewater rate studies.

The City Council discussed whether business owners should consider replacing their meters to an appropriate size that meets their needs which may save them money.

MOTION:

Motion by Council Member Sierra, seconded by Council Member Elovitz directing staff to receive the final Water and Wastewater Rate Studies, approve the Prop 218 Notice of Proposed Water and Wastewater Rates and direct staff to mail to property owners, and set the Public Hearing for September 22, 2016.

VOTE:

Motion passed by a roll call vote of 4-0.

Council Member Elovitz – Yes

Council Member Sierra – Yes

Vice Mayor Baumann - Yes

Mayor Andrisek – Yes

CITY MANAGER’S REPORT

City Manager Bierdzinski provided an informational report to the City Council.

CLOSED SESSION ITEMS

- 5. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION
(Government Code Section 54956.9(a))
Terravant Wine Company, LLC v. City of Buellton, et al., Santa Barbara County Superior Court Case No. 16CV00839
Environment in the Public Interest v. City of Buellton, et al., Santa Barbara County Superior Court Case No. 16CV00883**

The City Council did not meet in Closed Session regarding this item.

ADJOURNMENT

Mayor Andrisek adjourned the regular meeting at 7:25 p.m. The next regular meeting of the City Council will be held on Thursday, August 11, 2016 at 6:00 p.m.

Ed Andrisek
Mayor

ATTEST:

Linda Reid
City Clerk

BACK-UP/SUPPORT DATA IS AVAILABLE FOR COUNCIL REVIEW IN CITY HALL

The following is a list of claims to be ratified and approved for payment by the City Council at the **August 11, 2016** Council Meeting.

Listed below is a brief summary of the attached claims:

EXHIBIT A *	A/P Packet #APPKT00322	65,144.69 (2 pages)
	A/P Pack #APPKT00313	132,931.57 (3 pages)
	A/P Packet #APPKT00305	93,915.30 (2 pages)
	Utility Packet #UBPKT000349	331.40 (1 page)

Total Packets:	\$292,322.96
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EXHIBIT B	\$62,112.75
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Staff Payroll	7/22/2016	43,010.74
Council Payroll	7/28/2016	2,197.71

TOTAL AMOUNT OF CLAIMS:	Total Payroll:	\$45,208.45
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	\$399,644.16
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* The A/P Packets above will be approved on Council Agenda date of 8/11/2016
 Checks to be signed on 8/11/16 tie to A/P Packet #APPKT00322
 Checks previously signed by staff to avoid late fees relate to:
 A/P Packets #APPKT00305 and APPKT00313
 Utility Packet #UBPKT000349

Payments via Electronic Fund Transfer (EFT):
From 7/19/2016 through 8/2/2016

AFLAC	7/19/2016	609.03
Payroll Tax - IRS	7/25/2016	9,069.14
Payroll Tax - EDD	7/25/2016	2,403.09
Bank Fees	7/29/2016	98.90
WageWorks	7/29/2016	1,362.52
Payroll Tax - IRS	7/29/2016	96.84
Payroll Tax - EDD	7/29/2016	23.20
Bank Fees	7/29/2016	15.00
CalPERS - Medical	8/2/2016	19,592.60
CalPERS - Classic	8/2/2016	13,584.32
CalPERS - PEPRA	8/2/2016	2,939.59
DCP-AUL	8/2/2016	12,288.52
Bank Fees	8/2/2016	30.00

Total		<u><u>\$62,112.75</u></u>
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JBPKT00349 - Refunds 01 UBPKT00348 Regular

Account	Name	Date	Check #	Amount	Code	Receipt	Amount	Type
13-05700-007	STEVENSON, CHRIS	7/28/2016	33242	92.12			92.12	Generated From Billing
16-10400-005	METCALF, SAMANTHA	7/28/2016	33243	80.31			80.31	Generated From Billing
17-12300-010	BATES, ERIC	7/28/2016	33244	87.34			87.34	Generated From Billing
19-10700-009	O'KEEFE, NANCY	7/28/2016	33245	71.63			71.63	Generated From Billing
Total Refunds: 4				Total Refunded Amount:			331.40	



Revenue Code Summary

Revenue Code	Amount
996 - UNAPPLIED CREDITS	331.40
Revenue Total:	331.40

General Ledger Distribution

Posting Date: 07/28/2016

Account Number	Account Name	Posting Amount	IFT
Fund: 020 - WATER FUND			
020-10000	Claim On Pooled Cash	-331.40	Yes
020-22420	Unapplied Credits	331.40	
020 Total:		0.00	
Fund: 999 - POOLED CASH			
999-10001	Pooled Cash - General Checking	-331.40	
999-27000	Due To Other Funds	331.40	Yes
999 Total:		0.00	
Distribution Total:		0.00	



By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: General Checking-General Checking						
000870	ACCOUNTEMPS	07/19/2016	Regular	0.00	2,327.20	33222
000062	BUELLTON MEDICAL CENTER	07/19/2016	Regular	0.00	351.69	33223
000090	CaIPERS LONG-TERM CARE PROGRA	07/19/2016	Regular	0.00	84.25	33224
000713	COASTAL COPY Inc	07/19/2016	Regular	0.00	484.92	33225
000118	COASTAL COPY, INC.	07/19/2016	Regular	0.00	112.22	33226
000122	COMCAST CABLE	07/19/2016	Regular	0.00	472.41	33227
000826	GENUINE PARTS COMPANY INC	07/19/2016	Regular	0.00	64.31	33228
000654	HENRY L. HUDSON dba	07/19/2016	Regular	0.00	913.89	33229
000812	KOSMONT & ASSOCIATES, INC. dba	07/19/2016	Regular	0.00	8,616.40	33230
000352	P G & E	07/19/2016	Regular	0.00	32,867.73	33231
000448	SB CO FIRE DEPARTMENT	07/19/2016	Regular	0.00	46,744.00	33232
001030	Shannel Zamora	07/19/2016	Regular	0.00	39.15	33233
000161	STATE OF CALIFORNIA - DOJ	07/19/2016	Regular	0.00	64.00	33234
000489	STEVE'S WHEEL & TIRE	07/19/2016	Regular	0.00	93.98	33235
000862	TYLER TECHNOLOGIES, INC.	07/19/2016	Regular	0.00	13.10	33236
000551	VALLEY TOOL RENTALS	07/19/2016	Regular	0.00	400.00	33237
000582	VINTAGE WALK, LLC OWNERS ASSO	07/19/2016	Regular	0.00	104.00	33238
000782	WAGE WORKS	07/19/2016	Regular	0.00	141.00	33239
001067	WEST.COM	07/19/2016	Regular	0.00	21.05	33240

Bank Code General Checking Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	21	19	0.00	93,915.30
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	21	19	0.00	93,915.30

Fund Summary

Fund	Name	Period	Amount
999	POOLED CASH	7/2016	93,915.30
			<u>93,915.30</u>



By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: General Checking-General Checking						
000870	ACCONTEMP	07/29/2016	Regular	0.00	843.61	33246
000509	ALAN NEEDHAM dba	07/29/2016	Regular	0.00	19,761.14	33247
000168	ALLIANT INSURANCE INC.	07/29/2016	Regular	0.00	306.00	33248
000303	ART MERCADO	07/29/2016	Regular	0.00	50.00	33249
000868	BRIAN DUNSTAN	07/29/2016	Regular	0.00	100.00	33250
000065	BURKE, WILLIAMS & SORENSEN, LLF	07/29/2016	Regular	0.00	15,641.89	33251
000090	CaPERS LONG-TERM CARE PROGRA	07/29/2016	Regular	0.00	84.25	33252
000105	CITY OF BUELLTON	07/29/2016	Regular	0.00	1,095.24	33253
000107	CITY OF LOMPOC	07/29/2016	Regular	0.00	1,666.66	33254
000107	CITY OF LOMPOC	07/29/2016	Regular	0.00	40.00	33255
000112	CLARK PEST CONTROL	07/29/2016	Regular	0.00	159.00	33256
000122	COMCAST CABLE	07/29/2016	Regular	0.00	171.73	33257
000138	D.L. ELECTRIC, INC.	07/29/2016	Regular	0.00	678.00	33258
000140	DAN HEEDY	07/29/2016	Regular	0.00	100.00	33259
000598	ENGEL & GRAY, INC.	07/29/2016	Regular	0.00	6,852.57	33260
000598	ENGEL & GRAY, INC.	07/29/2016	Regular	0.00	170.00	33261
000193	FIRST NATIONAL BANK OF OMAHA	07/29/2016	Regular	0.00	7,680.36	33262
	Void	07/29/2016	Regular	0.00	0.00	33263
000189	FISHER PUMP & WELL SERVICE, INC.	07/29/2016	Regular	0.00	2,433.00	33264
000649	FLUID RESOURCE MANAGEMENT, IN	07/29/2016	Regular	0.00	7,118.30	33265
000199	FOSTER D. REIF	07/29/2016	Regular	0.00	100.00	33266
001040	Frontier Communications	07/29/2016	Regular	0.00	1,752.60	33267
000241	J B DEWAR, INC.	07/29/2016	Regular	0.00	802.93	33268
000869	JOE PADILLA	07/29/2016	Regular	0.00	100.00	33269
000395	JOSE RAFAEL RUIZ dba	07/29/2016	Regular	0.00	1,650.00	33270
000545	KROS ANDRADE dba	07/29/2016	Regular	0.00	346.03	33271
000587	KYLE ABELLO	07/29/2016	Regular	0.00	440.62	33272
000779	LASH CONSTRUCTION, INC.	07/29/2016	Regular	0.00	11,035.97	33273
001068	Michael Hecker	07/29/2016	Regular	0.00	100.00	33274
000059	MOTOR PRODUCTS INC. dba	07/29/2016	Regular	0.00	8.63	33275
000669	O'CONNOR & SONS dba	07/29/2016	Regular	0.00	105.00	33276
001059	On Site Business & IT Solutions Inc.	07/29/2016	Regular	0.00	145.00	33277
000372	PETTY CASH	07/29/2016	Regular	0.00	237.62	33278
000861	POLYDYNE INC.	07/29/2016	Regular	0.00	2,293.92	33279
000380	PRAXAIR DISTRIBUTION, INC.	07/29/2016	Regular	0.00	2.86	33280
000382	PROCARE JANITORIAL SUPPLY, INC.	07/29/2016	Regular	0.00	743.62	33281
000429	SAFETY-KLEEN CORP.	07/29/2016	Regular	0.00	357.07	33282
001064	Sagebrush Painting, Inc.	07/29/2016	Regular	0.00	2,871.22	33283
000441	SB CO - PUBLIC WORKS DEPT	07/29/2016	Regular	0.00	2,515.00	33284
000441	SB CO - PUBLIC WORKS DEPT	07/29/2016	Regular	0.00	430.83	33285
000465	SP MAINTENANCE SERVICES, INC.	07/29/2016	Regular	0.00	2,821.00	33286
000513	TURF STAR, INC.	07/29/2016	Regular	0.00	4,074.37	33287
000551	VALLEY TOOL RENTALS	07/29/2016	Regular	0.00	400.00	33288
000556	VERIZON WIRELESS	07/29/2016	Regular	0.00	1,222.91	33289
000677	WALLACE GROUP	07/29/2016	Regular	0.00	25,712.50	33290
001009	WATER CONSULTANCY INC,	07/29/2016	Regular	0.00	7,560.00	33291

Check Register

Packet: APPKT00313-2016-7-28 Special Run - PAYMENTS

Vendor Number 001063	Vendor Name Wells Fargo Vendor Fin Serv	Payment Date 07/29/2016	Payment Type Regular	Discount Amount 0.00	Payment Amount 150.12	Number 33292
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Bank Code General Checking Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	61	46	0.00	132,931.57
Manual Checks	0	0	0.00	0.00
Voided Checks	0	1	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	61	47	0.00	132,931.57

Fund Summary

Fund	Name	Period	Amount
999	POOLED CASH	7/2016	132,931.57
			<u>132,931.57</u>



By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: General Checking-General Checking						
000027	AQUA BEN CORPORATION	08/11/2016	Regular	0.00	2,311.43	33293
001060	Caitlyn Cline	08/11/2016	Regular	0.00	224.00	33294
000121	COC/BBA/VISITORS INFORMATION	08/11/2016	Regular	0.00	33,365.64	33295
000629	ED ANDRISEK	08/11/2016	Regular	0.00	246.42	33296
001056	Emily Elmerick	08/11/2016	Regular	0.00	1,344.00	33297
000248	JCI JONES CHEMICALS, INC.	08/11/2016	Regular	0.00	3,256.41	33298
000745	PEDRO DE LA CRUZ dba	08/11/2016	Regular	0.00	80.82	33299
000380	PRAXAIR DISTRIBUTION, INC.	08/11/2016	Regular	0.00	138.09	33300
000032	READY REFRESH BY NESTLE	08/11/2016	Regular	0.00	121.75	33301
000441	SB CO - PUBLIC WORKS DEPT	08/11/2016	Regular	0.00	209.00	33302
000507	THE GAS COMPANY	08/11/2016	Regular	0.00	18.87	33303
000904	US BANK EQUIPMENT FINANCE	08/11/2016	Regular	0.00	683.11	33304
000894	VISITSYV	08/11/2016	Regular	0.00	23,145.15	33305

Bank Code General Checking Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	16	13	0.00	65,144.69
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	16	13	0.00	65,144.69

Fund Summary

Fund	Name	Period	Amount
999	POOLED CASH	8/2016	65,144.69
			<hr/>
			65,144.69

CITY OF BUELLTON
City Council Agenda Staff Report

City Manager Review: MPB
Council Agenda Item No.: 3

To: The Honorable Mayor and City Council

From: Marc P. Bierdzinski, City Manager

Meeting Date: August 11, 2016

Subject: Discussion Regarding Basketball Hoops in the Public Right-of-Way

BACKGROUND

The City Council requested a discussion of the existing code sections relating to use and storage of portable basketball hoops in the public right-of-way. The following Municipal Code sections prohibit portable basketball hoops in the public right-of-way:

Section 8.04.030.B Public Nuisances Designated

6. *Improper Obstruction. Obstruction or encroachment upon any public property, including, but not limited to, any public street, sidewalk, highway, right-of-way, and park or building, without prior city consent. Such obstructions or encroachments include, but are not limited to overgrown trees and shrubs, building materials, merchandise or other personal property, **free standing portable basketball hoop stands**, buildings or portions of buildings or structures protruding onto public property.*

Section 12.08.080 Placing material upon streets or sidewalks prohibited – Exception

No persons shall place or cause to be placed anywhere upon any public street, way or sidewalk, and no person owning and occupying or having the control of any premises in the city shall suffer to remain in front thereof upon the sidewalk or portion of the street or way next to such premises any boxes, bales, barrels, wood, lumber, goods, wares and merchandise, or any other thing. Provided, however, that goods, wares and merchandise in transit may be allowed on the outer three feet of the sidewalk for a period not to exceed six hours, where at least five feet of unobstructed sidewalk remains.

12.08.110 Removal of obstructions—Authorized—Sale of items—Notice.

The director, or such other officer as may be designated by the council is authorized and empowered to remove, or cause to be removed to any place selected by him or her, all materials and things of whatever nature, which obstruct the free use of any street, lane, park or sidewalk or portion thereof in the city or which render the same dangerous to the public, and sell the same, after notice. The owner of the materials or things so removed may recover the same before the same are sold by the director on payment of the actual costs and charges of such removal and other incurred expenses.

There are several reasons for the City's prohibition of basketball hoops in the public right-of-way.

Street and Sidewalk Obstruction

Municipal Code sections 8.04.030.B.6, 12.08.080, and 12.08.110 are intended to ensure that various items, including portable basketball hoops, do not obstruct movement of vehicles and pedestrians along City streets and sidewalks.

Aesthetics

The City has received complaints from residents who do not want to view portable basketball hoops in the public right-of-way. These complainants feel that such devices are unsightly and detract from the aesthetics of their neighborhood.

Street Sweeping

Private property that is placed within the public right-of-way, including portable basketball hoops, may block the street sweeper from properly cleaning the City streets. The City pays for this service and street obstructions diminish the effectiveness of street sweeping and waste taxpayer monies.

Liability

In the past, the City was concerned that it would be liable for any personal injury or property damage caused by a portable basketball hoop in the street. However, the California JPIA, our insurance carrier, has not seen this as an issue before and provides the following analysis:

It is the opinion of the CJPIA in regards to mobile basketball hoops placed on streets or sidewalks that liability from any loss or peril related to these hoops falls on the individual homeowner or individual who placed the hoop in the public right of way regardless of an existing city ordinance or not. Liability claims could be filed against the city if an existing ordinance is not enforced, but it is the opinion of

the CJPIA that liability would still rest with the party placing the basketball hoop in the PROW. Despite this opinion, should the city decide to allow mobile basketball hoops during certain hours of the day in the public right of way, we would recommend language in the ordinance that transfers liability to homeowners or individuals who place the hoops there.

RECOMMENDATION

That the City Council review the existing ordinance wording regarding portable basketball hoops and provide direction to staff.

CITY OF BUELLTON
City Council Agenda Staff Report

City Manager Review: MPB
Council Agenda Item No.: 4

To: The Honorable Mayor and City Council

From: Rose Hess, Director of Public Works

Meeting Date: August 11, 2016

Subject: Discussion and Possible Award of Contract Regarding Engineering Services

BACKGROUND

On April 28, 2016, the City Council approved the Request for Proposals (RFP) for Engineering Services. The City posted the RFP on the City's webpage, published it in Public Works Magazine, and directly contacted engineering firms in the Central Coast area that perform similar work.

On July 1, 2016 the City received four proposals, from MNS Engineers, Inc., Kimley-Horn & Associates, Tetra Tech, and Flowers & Associates.

An outside advisory panel, consisting of Santa Barbara County Association of Governments (SBCAG) Executive Director Jim Kemp, City of Carpinteria Public Works Director Charlie Ebeling, and City of Lompoc City Administrator Patrick Wiemiller, reviewed and ranked the proposals. The panel members, who volunteered their time and expertise for this task, discussed the City's current public works/engineering structure, workload and staffing, relative to the engineering services and scope of work requested in the RFP.

The panel discussed their assessments of each proposal and reviewed the firms' experience, qualifications, and expertise. The panel determined that the two firms best suited to perform the scope of services in the RFP are MNS Engineers and Kimley-Horn. Both Tetra Tech and Flowers Engineering had experience on public capital improvement project development, but lacked experience in providing the full suite of engineering services required by the RFP. Between MNS Engineers and Kimley-Horn, the panel unanimously recommended MNS Engineers based on MNS Engineers' current level of service and ability to fulfill the RFP's scope of work. In addition, the panel noted that MNS Engineers has the historical knowledge and insight regarding the City. The panel did not consider hourly rates because it felt that experience and qualifications were more important in choosing a firm to provide professional services. In addition, the panel concluded that costs may vary based on the number of hours each firm takes to complete its tasks (i.e., lower hourly rate firm may require more time to complete services resulting

in a higher total cost versus a higher hourly rate firm requiring less time). In any event, the billing rates, ranked from lowest to highest, are: Tetra Tech, Flowers & Associates, MNS Engineers, and Kimley-Horn.

The panel also made several recommendations and/or suggestions that it felt would aid the City in the long-term:

- The panel's first recommendation is to enter into a new contract for the City's engineering services with MNS Engineers. Using MNS Engineers would provide the city with continuity and stability, particularly through these high development years.
- The panel also recommended that, in addition to contracting with MNS Engineers, the City should consider retaining the remaining three firms for on-call engineering work as needed or for special projects. According to the panel, this would provide the City with flexibility to deliver capital projects as needed and allow MNS Engineers to concentrate its efforts performing core tasks for the City.
- Finally, the panel recommended that the City consider hiring additional in-house staff to perform basic engineering tasks. This may be a more cost-effective route for routine tasks. It would also eliminate overhead charged to applicants by the contract engineer. Fees paid to the City would offset many of the costs associated with a new position.

Each panel member is willing to share their thoughts with Council at your leisure. Staff will provide contact information at the request of Council members.

In addition to the panel's recommendations, staff recommends adding performance monitoring and reporting for the engineering services contract to formalize the accountability of the selected consultant. Quality control is a critical part of the contract that has not been in place in the existing contract. At the discretion of Council, staff may go back and negotiate rates for the term of the contract. The term of the agreement noted in the RFP is two years, with an option of three additional one-year extensions. Rates will be fixed unless otherwise approved by the City Council.

We have requested that all four firms attend the August 11th meeting to address any additional questions or clarifications that the Council may have. Each proposal is provided as an attachment.

Staff has provided recommendations and suggestions from an outside panel to assist the City Council in their decision-making process. The City Council may take all or none of the recommendations and suggestions from the panel and has the ability to select any of the four engineering firms.

FISCAL IMPACT

The City's Engineering services are funded through the General Fund, Enterprise Funds (Water and Sewer), Measure A, Gas Tax, and Grant Funds. City consultants work with the City annually to determine the appropriate budget for the anticipated workload.

RECOMMENDATION

Staff recommends that Council discuss the panel's recommendations for Engineering Services and provide comments and direction. The Council may choose a variety of options, including, but not limited to:

1. Follow the recommendations of the panel and direct staff to work with MNS Engineers on a new contract. This new contract may include a reduced scope of work and the use of other consultants for specific development projects on an on-call basis.
2. Direct staff to work with any one of the four firms and bring forward a contract for the full scope of services outlined in the RFP. Alternatively, a reduced scope of work could be developed with any of the four firms with the use of other consultants for specific development projects on an on-call basis.

ATTACHMENTS

- Attachment 1 – RFP for Engineering Services
- Attachment 2 – MNS Engineers Inc. Proposal
- Attachment 3 – Kimley-Horn & Associates Proposal
- Attachment 4 – Tetra Tech Proposal
- Attachment 5 – Flowers & Associates Proposal

CITY OF BUELLTON
City Council Agenda Staff Report

City Manager Review: MPB
Council Agenda Item No.: 5

To: The Honorable Mayor and City Council

From: Stephen A. McEwen, City Attorney

Meeting Date: August 11, 2016

Subject: Discussion of Permit Process for Flying Flags RV Resort

BACKGROUND

Questions have been raised regarding the 2014 time extension of a Final Development Plan for the Flying Flags R.V. Resort and the City’s procedures for land use and building permit approvals. This Agenda Report reviews the background of the Flying Flags Final Development Plan time extension and the applicable law. This Agenda Report also reviews the various responsibilities that the City, County, and State have in approving and inspecting a project such as the Flying Flags R.V. Resort.

As set forth below, the City processed the 2014 time extension in manner that was valid and legally defensible and the record demonstrates that Flying Flags has fully reimbursed the City for costs incurred in reviewing the project. In addition, Flying Flags has obtained the necessary land use approvals and grading and public utilities permits from the City and the required building permits from the State Department of Housing and Community Development and County of Santa Barbara.

ANALYSIS OF FLYING FLAGS

A. Municipal Code Provisions Governing Permit Expiration

The Buellton Municipal Code provides in Chapter 19.08 [Land Use and Permit Procedures] certain processes and procedures related to the granting of, use of, revocation of, and expiration of land use approvals. The City issues minor use permits and conditional use permits (collectively in this memo, “CUP”s) pursuant to Section 19.08.110 of the Code. That section provides, with respect to the lapsing and revocation of the permit, as follows:

E. Time Limits

1. At the time the planning commission or zoning administrator approves a minor use permit or conditional use permit, a time limit may be established within which

construction must commence or the use must begin. The time limit shall be a reasonable time based on the size and nature of the proposed development or use. If no date is specified, the time limit shall be one year from the date of approval. Such time may be extended by the planning commission or zoning administrator once for good cause shown, provided a written request, including a statement of reasons for the time extension, is filed with the planning department prior to the expiration date.

2. A minor or conditional use permit shall become null and void and be automatically revoked if the approved use is discontinued for a period of more than one year. The time limit may be extended by the planning commission or zoning administrator one time for good cause shown, provided a written request, including a statement of reasons for the time extension request, is filed with the planning department prior to the expiration date.

F. Revocation

If any of the conditions of the permit are not complied with, the planning commission or zoning administrator, after written notice to the permittee and a noticed public hearing, may revoke the permit.”

Per section (E)(1), the approval of a CUP can be conditioned on a time limit by which construction must commence or the use must begin. Such time limit is presumptively a year, but whatever time is selected may be extended once for good cause. Per section (E)(2), once the use is initiated, if it is later discontinued then the CUP will “become null and void and be automatically revoked” due to the non-use. Finally, under section (E)(3) the body that had approved the CUP has the power to revoke it, even if it is in use, based on noncompliance with the conditions of approval.

The Code treats development plans similarly. Section 19.08.120 deals with that type of land use approval in general, and subsection (H) reads as follows with respect to the expiration of a plan:

H. Time Limits

1. A preliminary development plan shall expire two years after its approval, except that, for good cause shown, it may be extended for one year by the director or planning commission.

2. Final development plans shall expire five years after approval unless, prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The director or planning commission or city council may, upon good cause shown, grant a time extension for one year.”

Again, the Code states that both a preliminary and final development plan will expire if not used. This type of requirement is common for preliminary plans, as the expectation is that an applicant will move forward in meeting the requirements the City imposed on a

preliminary plan in order that a final plan be issued. Once a final plan is issued, it is not the completion of construction that is required before the time that the plan is due to expire but “substantial” construction.

For both CUPs and development plans, it is clear that the purpose of the expiration provisions is to keep applicants moving with their developments and to avoid the “surprise” of an unused permit giving rise to a right to build or right to establish a use at some point in the indeterminate future.

B. California Legal Standards Relating to CUPs and Expiration

It is important to note that there are two types of expirations dealt with by California courts. The first type, which is generally held to be unenforceable, calls for an “automatic expiration” of a CUP or similar approval even after a use is initiated and carried on for a number of years. In general the courts have held that a CUP or similar permit creates a “vested right” to the permitted use or facility and that the proper means by which to cancel the permit is revocation and not some conditional or codified expiration. *See Goat Hill Tavern v. City of Costa Mesa* (1992) 6 Cal.App.4th 1519, 1530.

It is often the case that, even with an “expiration” condition in a CUP or other entitlement, a jurisdiction will not act to eliminate the “expired” use absent some compelling reason to get involved. *See Goat Hill, supra*, 6 Cal.App.4th at 1530 (describing Costa Mesa’s process whereby a complaint would trigger the need for the CUP holder to seek a renewal). In some cases, courts have found that CUPs for smaller installments such as billboards and wireless facilities may be conditioned on the use and structure being eliminated at the end of a defined period. *American Tower Corp. v. City of San Diego* (2014) 763 F.3d 1035; *Metropolitan Outdoor Advertising Corp. v. City of Santa Ana* (1994) 23 Cal.App.4th 1401. One rationale for this is the more limited size and cost of the facility approved by the CUP or permit. Another is the limited purpose of the use; in the cases approved by the courts, advertising and wireless services were very focused purposes different from the carrying-on of a business concern.

Therefore, case law instructs us that once a CUP or other permit has been issued and the use or structure approved by that permit has been initiated or put in place, the courts will find in general that there is a “vested right” to continue the permitted activity, with limited exceptions. The use permitted by a CUP needs to be reviewed and approved by the local jurisdiction because it “could be incompatible in some respects with the applicable zoning” or the neighborhood around it, so conditions need to be put on the use. *See County of Imperial v. McDougal* (1977) 198 Cal.3d 505, 510. The conditioning of the use is important, because it ensures that the use will be carried on consistent with the city’s and neighborhood’s expectations.

This leads to the second type of expiration, and the one at issue in Municipal Code sections 19.08.110 and 19.08.120. Those sections do not deal with permits that are being used, but with permits that are apparently dormant in some manner. It is settled that when a permittee has incurred “substantial expense” and “acted in reliance” on a CUP or other permit, the permittee may have acquired a fundamental right to continue using the

permit. See *Malibu Mountains Recreation, Inc. v. County of Los Angeles* (1998) 67 Cal.App.4th 359. “A CUP creates a property right which may not be revoked without constitutional rights of due process.” *Id.* at p. 367. Where there is a vested right to continue using the permit, the permit cannot expire but must be revoked, following due process, based on failure to comply with conditions of approval or on some other compelling public necessity. See *Community Development Comm’n of Mendocino County v. City of Fort Bragg* (1988) 204 Cal.App.3d 1124; *Bauer v. City of San Diego* (1999) 75 Cal.App.4th 1281. Sections 19.08.11 and 19.08.120 deal with a situation in which there has been no reliance or, perhaps, insufficient reliance on the permits such that they expire on their own terms.

Such provisions have been upheld by courts. See *Community Development Comm’n of Mendocino County v. City of Fort Bragg, supra*, 204 Cal.App.3d 1124. It is a settled matter in California that the purpose of code provisions or conditions of approval providing for “automatic expiration” when work has not commenced or a use has not been established is “to prevent the reservation of land for future purposes when the permittee has no good faith intent to presently commence upon the proposed use.” *Fort Bragg*, 204 Cal.App.3d at 1129 (citing *Upton v. Gray* (1969) 269 Cal.App.2d 352). This is consistent with the idea that a use permitted by a CUP “could be incompatible in some respects with the applicable zoning” or the neighborhood around it, as discussed above. Should a substantial period of time lapse, the conditions placed on the CUP or other approval may no longer mitigate incompatibility and so the permit should be nullified and a new permit sought. Further, it is not in the City’s or other jurisdictions’ best interests to allow the kind of “land banking” or “reservation for future use” mentioned in the *Fort Bragg* case.

However, even this conclusion, clear though it may seem, leads to an area of law that is not subject to bright line rules. The courts have not defined what “substantial expense” means or what “act[ing] in reliance” means for purposes of evaluating whether a CUP or other permit has expired. There is little legal guidance for the amount of money that will be found to constitute a “substantial” expense or what steps need to be taken for there to be actual “reliance on the permit.” Instead, these are questions of fact for the City to analyze and, if challenged, a court to review.

C. Final Development Plan 95-FDP-06 (Flying Flags Recreational Vehicle Park)

On March 20, 2014, the Planning Commission approved a Negative Declaration and time extension for Final Development Plan 95-FDP-06, based on findings and record evidence. This was an unusual situation in which the County of Santa Barbara, prior to Buellton’s incorporation, approved a CUP in 1990 for the expansion of the Flying Flags Recreational Vehicle (“RV”) park (Attachment 1). In 1993, after incorporation, the City Council approved a time extension for the CUP; in 1996, the Planning Commission approved a Final Development Plan, superseding the CUP (Attachment 2). Approximately 17 years later, the applicant applied for an extension to the Final Development Plan, and the Planning Commission considered the extension in a public hearing on March 20, 2014 (Attachment 3).

The procedure taken to extend the life of 95-FDP-06 was a valid and legally defensible approach. It reflects the prior City Attorney's conclusion that this particular approval could not be subject to a staff-level determination of expiration and that the least risky strategy would be to present the extension issue to the Planning Commission. By taking the matter to the Commission, City Staff allowed the Commission to either extend the plan with new conditions, and thereby drive the applicant toward some finality (either completion of the project or abandonment in accord with the conditions), or conclude that the plan could *not* be extended. Any decision by the Commission would be based on record evidence at a noticed public hearing, thereby satisfying controlling California case law dealing with land use permits.

The City could have requested that Flying Flags apply for a new Final Development Plan, but the review process would have been the same. In processing the extension request, City staff and the Planning Commission had to review the entire Final Development Plan proposal, including all of the development plans, which had been updated from the original 1996 approval to meet current State of California standards relevant to the construction of and operation of an RV park. In compliance with the California Environmental Quality Act ("CEQA"), City staff prepared an Initial Study and Negative Declaration for the project that analyzed the project under current environmental standards. As reflected in Resolution No. 14-04, the Planning Commission found that the project extension was consistent with the requirements of Municipal Code section 19.08.120, which was the same finding that would have been required for an initial Final Development Plan application. The Planning Commission adopted new conditions of approval for the extension that reflected current City standards. In light of these actions, the extension hearing operated in much the same way as a hearing for a new Final Development Plan (Attachment 4).

In addition, regardless of whether the City processed Flying Flags' request as an extension or a new application, the City was fully reimbursed for its costs. Attachment 5 to this Agenda Report sets forth a side-by-side comparison of the amount paid by Flying Flags for the extension versus what Flying Flags would have paid had it proceeded with a new Final Development Plan application. While Flying Flags would have submitted a larger initial deposit had it filed a new application compared to the extension request (\$4,950 versus \$835), Flying Flags agreed as part of the extension request to reimburse the City fully for its staff time, including engineering and legal review. (See Attachment 6.) The amount of staff time required to process the extension was the same that would have been required to process a new application because the analysis, CEQA review, required findings, and public hearing requirements were the same under either approach. On September 30, 2014, as part of the required plancheck review process, Flying Flags submitted a \$34,935.91 deposit to the City, adding to the existing \$835 deposit already on account (Attachment 7). The City charged Flying Flags for its staff time against Flying Flags' deposit account. Any funds remaining in the account at the completion of the work will be refunded to Flying Flags.

Again, the "extension" of a pre-incorporation CUP that was made into a Final Development Plan in 1996 represents an unusual circumstance. But the extension actually allowed for CEQA review and the addition of conditions of approval to bring the

project into conformity with then-current City standards. As such, it was not reflective of the type of “reservation of land for future purposes when the permittee has no good faith intent to presently commence upon the proposed use” with which *Fort Bragg* was concerned. That is, the City did not allow the applicant to simply implement a 1996 plan in 2014 with no changes. Therefore, no matter the name of the hearing, the action taken was one that brought the Final Development Permit up to current community standards, also alleviating the concerns described in *McDougal*. Ultimately, the process was legally defensible due to the noticed public hearing at which the community and the applicant had a chance to represent their respective positions on the matter.

DEVELOPMENT AND BUILDING PERMIT APPROVAL PROCEDURES

There have also been questions raised over which governmental agency has been responsible for approving various elements of the Flying Flags project. As set forth below, the City is responsible for land use approvals, grading, and public utilities, while the County is responsible for issuing building permits and inspecting construction in all projects unless the State has jurisdiction, as is the case involving mobile home and R.V. parks. For the Flying Flags expansion, the State Department of Housing and Community Development is responsible for issuing permits and conducting inspections and the County Health Department is responsible for issuing permits and conducting inspections in connection with the proposed cooking facilities and swimming pool.

D. Who approves development and construction in the City?

1. Development

The City, through its Planning Department, Planning Commission, and City Council, is responsible for approving development and land uses within the City. This land use authority is broad and derives from California Constitution Article XI, Section 7. Under this constitutional provision, which establishes the local police power authority, “counties and cities have plenary authority to govern, subject only to the limitation that they exercise this power within their territorial limits and subordinate to state law.” (*Candid Enterprises, Inc. v. Grossmont Union High School Dist.* (1985) 39 Cal.3d 878, 886.) “Apart from this limitation, the police power of a county or city under this provision is as broad as the police power exercisable by the legislature itself.” (*Ibid.*) The constitutional police power includes, of course, the authority to regulate local land uses. (*Big Creek Lumber Co. v. County of Santa Cruz* (2006) 38 Cal.4th 1139, 1151.)

In Buellton, the required approval for any particular development or land use will depend on whether the project is subject to a zoning clearance, minor use permit, conditional use permit, or development plan. Municipal Code chapter 19.02 establishes the categories of allowable land uses throughout the City and specifies which land use approval is necessary. Municipal Code Chapter 19.08 describes the process for each level of approval, which is summarized as follows:

- Zoning Clearance – This is the most basic land use approval. The Planning Director is responsible for reviewing and approving zoning clearance applications.

- Minor Use Permit – MUP’s are for land uses that are not allowed as of right in a particular zoning district. The Zoning Administrator (Planning Director) is responsible for approving MUP’s.
- Conditional Use Permits – CUP’s are for land uses that are not allowed as of right in a particular zoning district, but require more extensive review than land uses subject to a MUP requirement. The Planning Commission is responsible for approving CUP’s.
- Development Plans – A Development Plans is another type of land use approval for particular land uses that the City Council has determined requires more detailed review. Again, the Planning Commission is responsible for approving Development Plans.

The State imposes very few limits on local land use authority. “[T]he legislature intends to impose ‘only a minimum of limitation in order that counties and cities may exercise the maximum degree of control over local zoning matters.’” (Municipal Law Handbook, Section 10.1, citing Government Code section 65800 and *DeVita v. County of Napa* (1995) 9 Cal.4th 763, 782).

Please keep in mind that a Development Plan is not the same thing as a building permit application. Under the Buellton Municipal Code, a Development Plan is a form of zoning or land use approval. When the City approves a Development Plan, it is merely evaluating whether the proposed land use is appropriate. The City can use that opportunity to impose various conditions on the proposed project, including engineering, health and safety, and planning conditions. The County also provides the City with proposed building conditions. Once the City approves a Development Plan and issues a zoning clearance, the project proponent must then obtain the necessary building, electrical, mechanical, and plumbing permits from the County (the County will not do this without the zoning clearance) and must obtain grading permits from the City, if applicable. This is discussed more fully below.

2. Construction

Typically, local jurisdictions are responsible for approving construction activities that occur within their jurisdictional boundaries. In Buellton, responsibility for approval of construction activities is divided among multiple agencies as follows:

- Plan Check and Inspection for Grading: Contract Engineers under the Public Works Director/City Engineer’s supervision
- Plan Check and Inspection for Public Utilities: Contract Engineers and City Water and Sewer staff under Public Works Director/City Engineer’s supervision
- Plan Check and Inspection for Building, Plumbing, Electrical, and Fire Code: County Building and Safety and County Fire Department

- Plan Check and Inspection for Planning Conditions of Approval: City Planning Staff
- Plan Check and Inspection for Mobile Home Parks (structural/building/site amenities only): State HCD

E. What certifications are required for approving the various city permits and projects? When is ICBO certification required?

The answer to these questions depends on the nature of the activity being reviewed. Health and Safety Code section 18949.28(a) and the Building Code impose various certification requirements on personnel involved in reviewing building plans, permits, and construction, which in Buellton is a County responsibility. With regard to reviewing grading and public utility plans and permits and performing related inspections, which are the responsibility of the City's Engineering Department, there do not appear to be any certification requirements, although the industry practice is that registered engineers supervise or perform this work.

1. Building and Construction

State law provides that all building construction inspectors, plans examiners, and building officials must "complete one year of verifiable experience in the appropriate field, and shall, within one year thereafter, obtain certification from a recognized state, national, or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency." (Health and Safety Code section 18949.28(a)). Persons who were so employed for at least two years prior to the effective date of this requirement (January 1, 1997) are not subject to the requirement. (Health and Safety Code section 18949.28(b)). State law also requires specified continuing education of at least 45 hours every three years for these personnel. (Health and Safety Code section 18949.29).

Please note that these statutory requirements only apply to the construction of residential, commercial, and industrial buildings and do not apply to grading activities and public utilities. Furthermore, these statutory requirements do not apply to a registered professional engineer, licensed land surveyor, or licensed architect rendering construction inspection services, plan examination services, or building official services within the scope of his or her registration or licensure, unless they are employees of a local agency. (Health and Safety Codes section 18949.30). Therefore, the City may retain such outside professionals on a non-employment basis to perform work within the scope of their respective registrations or licensures.

The California Building Code contains certain additional requirements for building officials and inspectors:

- **A101.1 Building official.** The building official shall have at least 10 years' experience or equivalent as an architect, engineer, inspector, contractor or superintendent of construction or any combination of these, five years of which shall have been

supervisory experience. The building official should be certified as a building official through a recognized certification program. The building official shall be appointed or hired by the applicable governing authority.

- **A101.2 Chief inspector.** The building official can designate supervisors to administer the provisions of the *California Building, Mechanical and Plumbing Codes* and *California Fuel Gas Code*. Each supervisor shall have at least 10 years' experience or equivalent as an architect, engineer, inspector, contractor or superintendent of construction, or any combination of these, five years of which shall have been in a supervisory capacity. They shall be certified through a recognized certification program for the appropriate trade.
- **A101.3 Inspector and plans examiner.** The building official shall appoint or hire such number of officers, inspectors, assistants and other employees as shall be authorized by the jurisdiction. A person shall not be appointed or hired as inspector of construction or plans examiner who has not had at least 5 years' experience as a contractor, engineer, architect, or as a superintendent foreman or competent mechanic in charge of construction. The inspector or plans examiner shall be certified through a recognized certification program for the appropriate trade.

According to a publication from the State Building Standards Commission (http://www.documents.dgs.ca.gov/bsc/Title_24/Its-Your-Bldg-Dept-May-2014-rev.pdf), "plan reviews must be performed by personnel trained and certified or licensed for the work. Registered structural engineers, civil engineers, and architects that have been trained in the building code should perform the review of the structural plans and supporting calculations. The other subjects may be reviewed by Certified Plan Examiners, or registered structural engineers, civil engineers, and architects."

In compliance with these requirements, the County of Santa Barbara imposes very specific experience and certification requirements for plan engineers, plan examiners, and inspectors.

There are several organizations that provide training and certifications with regard to building inspections. The ICBO has been merged into another organization, the International Code Council (ICC). The ICC is one of several organizations that provide both training and certification by examination programs. Others include the International Association of Electrical Inspectors (IAEI), the International Association of Plumbing and Mechanical Officials (IAPMO), and the National Fire Protection Association (NFPA). Other entities and State agencies may offer additional training.

Our research indicates that the International Code Council (ICC) is the most widely obtained certification agency. ICC tests for and issues a number of California-specific certifications, including Residential Plumbing Inspector, Commercial Plumbing Inspector, Residential Mechanical Inspector, Commercial Mechanical Inspector, Residential Electrical Inspector, Commercial Electrical Inspector, CALGreen Plans Examiner, California Building Plans Examiner, California Residential Building Inspector, California Commercial Building Inspector, and CALGreen inspector.

There are also over 50 non-California specific certifications which are available, in the categories of residential inspector, plans examiner, green building, fire extinguisher technician, fire, energy conservation, commercial inspector, code enforcement, certified building official, and “special inspector” (which includes such specialties as “pre-stressed concrete special inspector” and “structural masonry special inspector”).

Most experienced building inspectors and officials maintain a number of these certifications. However, the size of a given building and safety department, its resources, and the nature and character of the community will dictate what certifications are appropriate in any given city.

2. Grading and Public Utilities

The City Engineering Department is responsible for reviewing and approving plans for grading and public utilities (storm drains, water lines, and sewer lines) in connection with land use projects. This function is separate and apart from reviewing the building plans for a particular project. In general, developers who have received the required land use approval (zoning clearance, MUP, CUP, or Development Plan) submit site improvement plans to the Engineering Department for review. The Engineering Department, under the supervision of the City Engineer, reviews the plans and identifies areas for correction if necessary. Once the site plan is approved, the Engineering Department may issue a site improvement permit or other appropriate permits relating to grading and public utilities. The Engineering Department staff then performs the necessary inspections. Unlike with building activities, there are no statutory provisions that require the engineers who examine and approve grading and public utility plans to be “certified.” The industry practice is to have a state-registered engineer in charge of these responsibilities to ensure proper grading and construction of public utilities.

F. How can the City verify that plans and permits have been approved properly?

As noted above, the City is only responsible for reviewing and approving plans and permits for public utilities and grading and insuring that projects meet the City’s zoning standards and conditions of approval. In order to ensure that these functions are being performed properly, the City should periodically review the certifications of its employees and contractors who are responsible for these tasks. With regard to other construction activities, the approval of plans and permits is the responsibility of other governmental agencies such as the County or State HCD. Those entities are also responsible for maintaining records regarding building permits and inspections.

Please keep in mind that the City has an *absolute* immunity from liability arising from negligent or fraudulent building inspections and plan approvals. (See Government Code § 818.6.) A public employee, however, may be liable individually for a fraudulent inspection. (Government Code § 821.4.)

G. Flying Flags

Based on my review of documents from the City, County, and State, the Flying Flags R.V. Resort project has been approved, reviewed, and inspected in compliance with the procedures described above. The City reviewed and approved the proposed land use and issued permits for the on-site grading and public utilities. The City Engineer and Public Works Department has inspected these components of the project. The County issued a permit for and inspected the cooking facilities. The County has also issued a permit for the swimming pool facility. The State HCD has issued numerous permits for the project and has inspected the construction activities under those permits. The project is not complete and further permits and inspections will be necessary. The various permits issued by the City, County, and State are included with this Agenda Report as Attachments 8, 9, and 10.

RECOMMENDATION

That the City Council receive and file this report with attachments.

ATTACHMENTS

- Attachment 1 – 1990 County of Santa Barbara CUP
- Attachment 2 – 1996 Final Development Plan
- Attachment 3 – March 20, 2014 Planning Commission Agenda Report and Resolution
- Attachment 4 – Building Permit Process Flow Chart for Flying Flags Project
- Attachment 5 – Flying Flags Cost Comparison
- Attachment 6 – Flying Flags Agreement for Payment of Project Application Processing Fees
- Attachment 7 – Flying Flags Deposit Account and Project Activity Report
- Attachment 8 – City of Buellton Permits for Flying Flags
- Attachment 9 – County of Santa Barbara Permits for Flying Flags
- Attachment 10 – HCD Permits for Flying Flags

P/C Hearing: February 8, 1990

SANTA BARBARA COUNTY CONDITIONAL USE PERMIT
ARTICLE III, CHAPTER 35

CASE NO. 84-CP-65 (MD)

I. A Conditional Use Permit is hereby granted:

TO: Flying Flags, Ltd.

APN: 137-200-071

PROJECT ADDRESS: 180 Avenue of the Flags, Buellton, CA 93427

ZONE: C-2

AREA/SUPERVISORIAL

DISTRICT: Fourth Supervisorial District

FOR: Recreational Vehicle Park

II. This permit is subject to compliance with the following conditions:

1. Within 30 days of the approval of 84-CP-65 (MD) and prior to recordation of TPM 14,012, the applicant shall submit a landscape planting plan, together with an irrigation plan. The irrigation plan shall indicate the most appropriate irrigation system which should be primarily a drip system. All irrigation should be automatically controlled, with the potential for utilizing moisture sensors. Mulch shall be incorporated extensively in all landscaped areas. The plan shall be reviewed and approved by the Resource Management Department (RMD).
2. Within 30 days of the final approval of 84-CP-65 (MD) and prior to recordation of TPM 14,012, a performance security shall be filed with the RMD, to guarantee:
 - a. Installation of landscaping, walls and fences in accordance with the approved landscape plan.
 - b. Landscaping will be maintained for a period of two (2) years and shall be installed within 120 days of the approval of 84-CP-65 (MD) and prior to recordation of TPM 14,012.
 - c. Installation of 15-gallon nondeciduous, drought-tolerant screening trees along the west side of the eastern boundary fence alignment (adjacent to the RV storage area).

The conditions shall be implemented or RMD shall verify that there is sufficient bonding for the project.

3. Performance securities for installation of landscaping, walls and fences will be released by RMD after its inspection and approval of such installations. That portion of the performance security for maintenance of the landscaping will be released after a two (2) year period providing the landscaping has been adequately maintained.
4. Prior to recordation of TPM 14,012, all buildings necessary to meet the state building standards for a separate and safe recreational vehicle (RV) park approved by 84-CP-65, shall be constructed on Parcel B, or, the RV park shall be abandoned by notifying RMD in writing of the intent to abandon and, within sixty days after notification for abandonment is filed, the site shall be restored to the natural contour of the land and all facilities shall be removed to the satisfaction of RMD. This shall include a rest room with a minimum of one toilet, shower and lavatory for each sex. A temporary facility, meeting all these standards, is permissible with skirting and with proper access. The location of this temporary facility shall be shown on the Exhibit A as attached. A permanent rest room facility shall be constructed as part of Phase II.
5. The improvements for Phase II as described in Section VI(A) shall commence no earlier than the completion of Phase I and shall be completed no later than 09/92. All water mains, sewer, on-site roads, service connections and seeding for grass for the 40 RV spaces will occur in Phase II.
6. The improvements for Phase III as described in Section VI(A) shall commence no earlier than the completion of Phase II and shall be completed no later than September, 1994. All water mains, sewer, on-site roads, service connections and seeding for grass for the remaining RV spaces will occur in Phase III.
7. Environmental Health Services letter dated 12/14/89.
8. The size, shape, arrangement, and location of buildings, walkways, parking areas and landscaped areas shall be developed in substantial conformity with the approved development plan marked Planning Commission Exhibit A, dated 02/08/90. Substantial conformity shall be determined by the Resource Management Department Director. In the event of a disagreement, such determination shall be made by the Planning Commission.
9. The design of the garbage pickup areas shall be architecturally compatible with the overall architecture of the project.
10. All exterior lighting shall be hooded and no unobstructed beam of exterior lighting shall be directed toward any area zoned or developed residential.
11. Lighting shall be designed so as not to interfere with vehicular traffic on any portion of streets.

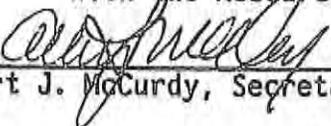
12. All signs shall comply with Santa Barbara County Code Chapter 35 (Sign Regulations).
13. All parking area locations, design, and size and the number of parking spaces shall be in accordance with all applicable provisions of Ordinance Parking Standards, unless the project has been granted a modification because it is in a zone district requiring a development plan.
14. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging or rebuilding of any building, structure or improvement the applicant shall obtain a LUP from the Resource Management Department (RMD). The LUP is required by ordinance and is necessary to ensure implementation of the conditions required by the Planning Commission. Prior to LUP issuance by RMD, the applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all preconstruction conditions. A form for such clearance is available in the Resource Management Department.
15. No permits for development, including grading, shall be issued except in conformance with an approved final development plan.
16. All final plans of buildings and structures shall be subject to approval by the Board of Architectural Review prior to LUP issuance.
17. All parking areas shall be landscaped and screened in accordance with all applicable provisions under ordinance parking standards, unless replaced with specific landscape and screening conditions.
18. Prior to LUP issuance, the applicant shall file with RMD a tree protection plan indicating the trunk location and tree canopy line of all mature native trees. A qualified botanist, horticulturist or approved tree specialist shall develop a site-specific program providing protection during grading, construction and recuperation periods.
19. The Division of Environmental Review requires that the trees to be saved on-site be fenced at a distance of 10 feet from the dripline.
20. If human remains or associated burial artifacts are discovered during construction, construction shall be halted until a Division of Environmental Review approved archaeologist and native American consultant can make a determination of the find's significance and appropriate disposition.
21. Since construction equipment can generate 90 dBA at 50 feet and residences are nearby, all construction activities, including the warming of construction vehicle engines, shall be limited to weekdays only between the hours of 7 a.m. to 5 p.m.

22. Prior to recordation of TPM 14,012, the applicant shall pay a nonrefundable compliance fee of such amount as may be authorized under ordinance and fee schedules in effect at the time the fees are paid. The permit compliance fees required shall be determined by the Zoning Enforcement staff. The purpose of the fees shall be to ensure that the project development is completed in compliance with all project conditions, including those contained in the applicable ordinances, and is in accord with the approved site plan. The project applicant shall work with the Zoning Enforcement staff in scheduling the required monitoring dates.
23. Developer shall defend, indemnify and hold harmless the county or its agents, officers and employees from any claim, action or proceeding against the county or its agents, officers or employees, to attack, set aside, void or annul, in whole or in part, the county's approval of the development plan. In the event that the county fails promptly to notify the subdivider of any such claim, action or proceeding, or that the county fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.
24. Prior to grading and construction of each phase of the development, the applicant and/or developer shall conduct an on-site construction coordination meeting at the building site for the purpose of coordinating the implementation of each project condition relating to project construction. These meetings shall include representatives of the applicant, construction contractors and county staff from the Departments of Resource Management, Public Works Building Division, and other departments identified by RMD as appropriate.
25. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the Planning Commission, and no approval shall be issued unless substitute feasible mitigation measures are imposed.

All final RMD conditions of approval of this project shall be printed on the building plans. These shall be in the form of a photocopy of the final action letter of the decision maker (preferably printed as a separate numbered sheet) submitted to Resource Management Department and the Building and Safety Division of Public Works Department for all applications on the subject property.

- III. This permit is issued pursuant to the provisions of Section 35-315 of Article III of the Code of Santa Barbara County and is subject to the foregoing conditions and limitations; and this permit is further governed by the following provisions:

- a. If any of the conditions of the conditional use permit are not complied with, the Planning Commission, after written notice to the permittee and a noticed public hearing, may, in addition to revoking the permit, amend, alter, delete or add conditions to this permit at a subsequent public hearing noticed for such action.
- b. A conditional use permit shall become null and void and automatically revoked if the use permitted by the conditional use permit is discontinued for more than one year.
- c. All time limits imposed may be extended by the Planning Commission one time for good cause shown, provided a written request, including a statement of reasons for the time limit extension request, is filed with the Resource Management Department prior to the expiration date.


Albert J. McCurdy, Secretary

DATE Approved Feb 8, 1990

xc: Minute Book (original copy)
Case File: 84-CP-65(MD)
Permanent File
Fire Department
Flood Control
Park Department
Public Works
Environmental Health Services
Environmental Review Division
APCD
Zoning Enforcement
Deputy County Counsel
County Surveyor
Owner: Ray Thomas, Flying Flags, Ltd., P.O. Box 2100, Santa Barbara,
CA 93120
Planner: B. Christensen

Attachment: - Conditional Use Permit
- Exhibit A

AJM:WT:d1 #3

CITY OF BUELLTON
Planning Commission Staff Report

Meeting Date: 1/4/96
 Item Number: 8A

PROJECT SUMMARY

Modification to conditions of approval for a previously approved Conditional Use Permit for the phased expansion of an existing recreational vehicle park (Flying Flags Travel Park).

APPLICANT AND SITE INFORMATION

Owner/Applicant: Ray Thomas, Flying Flags, Ltd.

File Numbers: 95-FDP--06

Environmental Review: A Negative Declaration was granted as part of the original approval of this project. Because the environmental circumstances surrounding the project have not changed substantially, no further environmental review is required pursuant to Section 15162 of the State CEQA Guidelines (see below).

APN: 137-200-71

Location: The site is located at 180 Avenue of the Flags, south of Highway 246 and north of the Santa Ynez River,

Parcel Size: 25.58 acres

General Plan: General commercial

Zoning: CR, General Commercial

Existing Land Use: Recreational vehicle (RV) park with about 54 spaces, a swimming pool and other facilities (Phase I).

SURROUNDING GENERAL PLAN DESIGNATIONS AND EXISTING LAND USES

North: General commercial, RV park
East: Highway 101 and general commercial
South: Agriculture, the Santa Ynez River
West: Residential

BACKGROUND

Project History and Current Request

Development of the Flying Flags Travel Park was approved by Santa Barbara County in 1986 prior to Buellton's incorporation. The approval called for the RV park to be developed in three phases over the course of about four years; a timeline was made a condition of the original approval. Phase I, involving about 54 RV

spaces and other facilities (see below) was completed soon after the original approval was granted. However, because of a lack of demand for additional RV spaces, Phases II and III have not been started.

The expiration date of the original use permit has been extended twice by the City, most recently in January of 1994. No additional time extensions are allowed by the Zoning Ordinance, which means the use permit will expire at the end of January, 1996. Since the project has exhausted the time extensions allowed by the City's regulations, the property owner has applied for a modification to the conditions of approval to retain the project's approval. Such a request is treated the same as a new application for the project, and is subject to environmental review and new or revised conditions of approval.

The following is a summary of the components of each phase and the corresponding timeframe for completion approved as part of the last time extension granted by the City in 1994.

<u>Phase</u>	<u>Timing of Improvements</u>	<u>Improvements</u>
I	Within 120 days of CUP approval (completed in 1988)	<ol style="list-style-type: none"> 1. 54 RV/tent spaces. 2. Left turn lane in Avenue of the Flags. 3. Construct fire access road. 4. Install water main and hydrant. 5. Construct on-site roads, spaces and utility hookups. 6. Construct drainage way and path to river. 7. Seed all camper spaces. 8. Install landscaping along river bank and within Phase I.
II	Complete by 1/97	<ol style="list-style-type: none"> 1. 40 RV/tent spaces (approx.) 2. Extend water main and install hydrants. 3. Construct on-site roads, spaces and utility hookups. 4. Seed all camper spaces. 5. Install landscaping. 6. Install bathroom facilities.
III	Complete by 1/99	<ol style="list-style-type: none"> 1. 90 RV/tent spaces (approx.) 2. Complete all water main and hydrants. 3. Complete all on-site roads, spaces and utility hookups. 4. Seed all camper spaces. 5. Install landscaping and fence along US 101. 6. Complete all facilities within Phase III (pool, group meeting room tennis courts).

These phases and related improvements are illustrated on the attached site plan. The improvements required for Phase I have been installed and, as noted above, the approved use permit requires completion of Phase II by January, 1997 and Phase III by 1999. However, as stated above, due to a difficulty in securing financing, and a lower-than-expected demand for RV spaces, the applicant does not foresee the need to develop Phases II and III within the required time frame, and is requesting that the conditions of approval be modified to combine Phases II and III into one phase with construction to be completed by January, 2001 (see letter, attached).

Site Description

The project site is relatively flat and is bordered by Zaca Creek to the north, the Santa Ynez River to the south, a drainage swale to the west and the 101 freeway to the east. The northern portion of the site has been developed with an RV park with 200 spaces and associated facilities that include an office, laundry, showers, a pool and RV maintenance station.

PROJECT EVALUATION

Overall, staff does not see any problem with approving this project once again with the proposed change in phasing and timing. Note, too, that we have assigned this project a new Final Development Plan case number to avoid confusion with previous approvals. Before taking an action, there are a number of issues the Commission should consider, which are discussed below.

1. **Previous Environmental Review.** The original Conditional Use Permit (84-CUP-065) was granted a Negative Declaration (ND) on environmental impact, meaning that no significant adverse impact would result from the project, so long as a number of mitigation measures were incorporated into the project design. These measures cover such issues as viewshed impacts from the 101 freeway, protection and enhancement of the riparian (creek-related) vegetation along the Santa Ynez River and Zaca Creek, and restrictions on development within the floodplain of the Santa Ynez River. A complete listing of the required mitigation measures is included with the Negative Declaration.
2. **Conditions of Approval.** The draft conditions of approval are attached for your review. The Commission may modify, delete or add conditions that you feel are appropriate to the current conditions affecting the project site. Overall, the circumstances and environmental conditions affecting the site have not changed appreciably since the use permit was approved in 1990. If and when construction begins on Phases II and III, the current fees for traffic, sewer and water connections will be charged, as applicable.
3. **Potential School Impacts.** RV parks, such as the Flying Flags Travel park, are intended to serve the vacationing public whose stay lasts from a few days to several weeks. However, some customers of RV parks are families with school aged children who stay in the park for long periods of time, such as six months or longer, necessitating the enrollment of the children in local schools. This has resulted in periodic impacts on the local schools since they were not designed to accommodate children whose permanent residence is not within the district. For this reason, conditions 18. and 19. restrict the length of stay for RV customers to a maximum of 60 days unless an agreement is worked out between the RV park and the local school district with respect to the cost of accommodating the additional children.
4. **Architectural Review.** The plans show a proposed Group Hall to be constructed in Phase III and a permanent restroom to be constructed in Phase II. The floor plans and building elevations were considered the last time extension approved by the City. The applicant's representative will present elevations and samples of materials at the meeting. The Commission should consider how these buildings satisfy the City architectural design guidelines.
5. **Landscaping.** The applicant has submitted a landscaping and irrigation plan for the proposed RV park expansion. The plant palette includes varieties of drought tolerant trees for screening the RV storage area from the freeway, and to provide shade and screening among the RV parking spaces. Pink jasmine vine (*Jasminum polyanthum*) is proposed along the freeway side of the existing fence that borders the 101 freeway. The vines are required as partial mitigation of visual impacts of the project when viewed from the east. Open areas, including the play area at the south end of the

proposed expansion area, are to be hydroseeded with lawn. The size, distribution, number and plant species proposed are appropriate.

6. **Protection of Creek Resources.** One of the issues with the original approval was the restoration and enhancement of the riparian plant communities along the Santa Ynez River which borders the site to the south, and Zaca Creek which borders to the north (north of the existing RV park). As noted in the Negative Declaration, the County General Plan identifies the site as containing "prime ecological communities" and "significant habitats" associated with the Santa Ynez River and Zaca Creek. To help mitigate potential impacts to these resources, the ND requires the planting of native trees along the river bank. The conditions of approval required a performance security to insure this required landscaping was installed and had become well established. These trees have been planted and the performance security was released.

ALTERNATIVES

The Planning Commission may:

1. Approve the project subject to findings and conditions.
2. Deny the project based on findings that the proposed use is not appropriate at this location and would be detrimental to the health, safety or welfare of persons residing in the vicinity.
3. Continue consideration of the project to a future date pending review of issues identified by the Commission.

RECOMMENDATION

Adopt the attached resolution to approve the Negative Declaration and final development plan 95-FDP-06 subject to findings and conditions.

Attachments

Letter requesting time extension
Location Map
Reduced Site/Phasing plan
Draft Resolution
Conditions of approval
Negative Declaration

SID GOLDSTIEN - CIVIL ENGINEER, INC.

planning • design • studies • residential/commercial development

150 ALAMO PINTADO ROAD
TE 302

SOLVANG, CA. 93463

(805) 688-1526

FAX (805) 688-6582

October 30, 1995

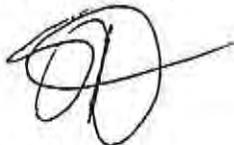
Ms. Tish Beltranena
City of Buellton
P.O. Box 1819
Buellton, CA 93427Re: Flying Flags
Modifications

Dear Tish:

The owners of the Flying Flags Travel Park are requesting to modify the conditions of approval for 84-CP-65. Currently two phases remain, with Phase II required to be completed by January, 1997 and Phase III by January, 1999. It is requested that Phases II and III be combined into a single phase with construction to be completed by January, 2001.

As a result of a significant downturn in the economy and market forecast related to the travel park, the need for additional camping spaces is not anticipated for several years. Although a major investment was made to complete Phase I, it would not be prudent to invest in Phase II until the market conditions change. By combining Phases II and III, the additional flexibility with regard to timing and sequencing the remaining improvements will allow the owners to better adjust to market conditions.

Sincerely yours,



Sid Goldstien

G:kg
04-04-103

ZONING MAP

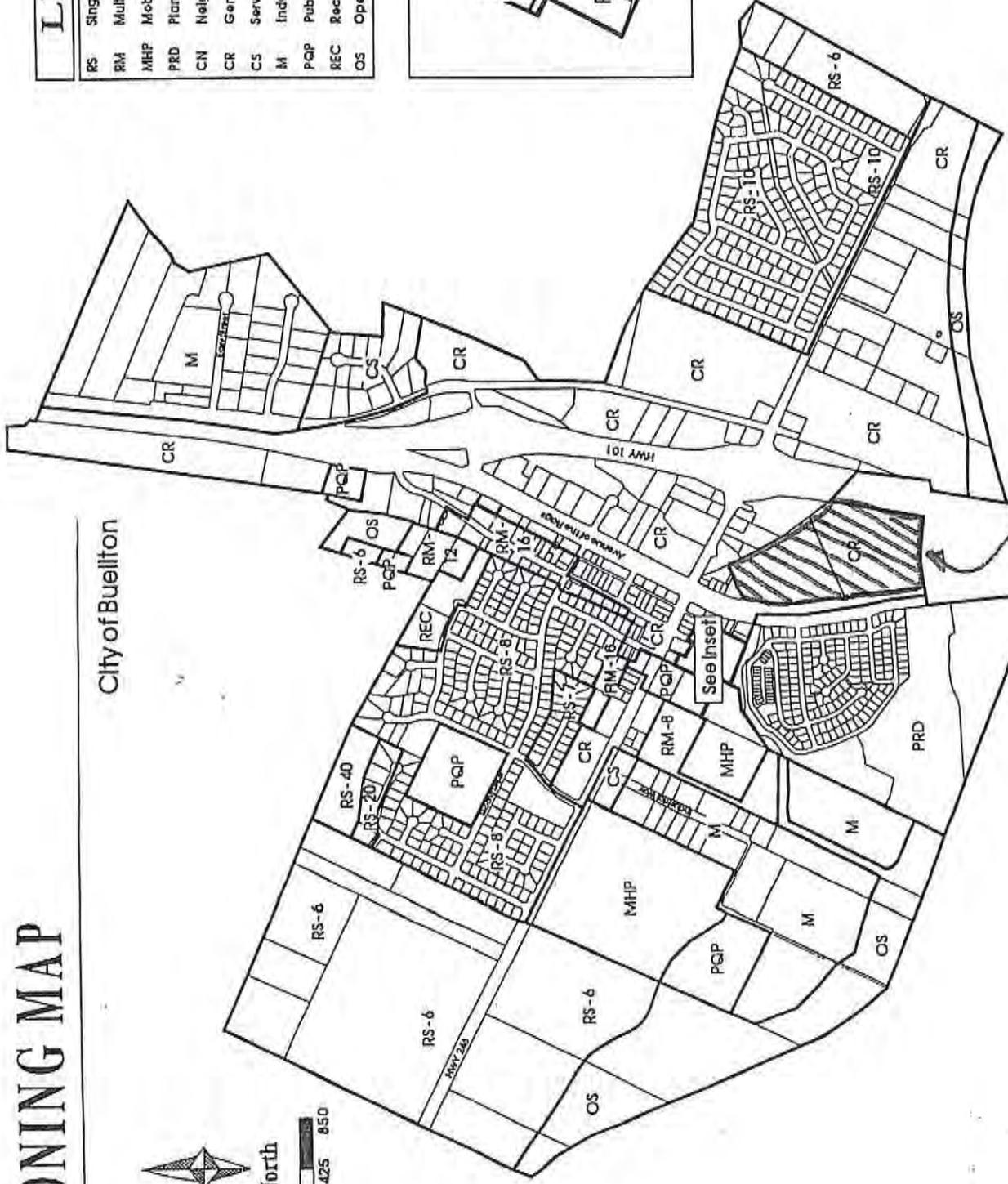
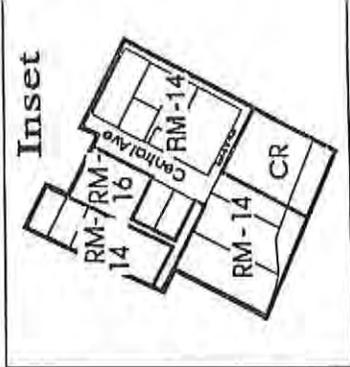
City of Buellton

LEGEND

RS	Single-Family Residential
RM	Multi-Family Residential
MHP	Mobile Home Park
PRD	Planned Residential Development
CN	Neighborhood Commercial
CR	General Commercial
CS	Service Commercial
M	Industrial and Manufacturing
PQP	Public, Quasi-Public
REC	Recreation
OS	Open Space



North



SITE

Zoning Ord. No. 591

PLANNING COMMISSION RESOLUTION 95-

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF BUELLTON
APPROVING FINAL DEVELOPMENT PLAN 95-DPF-06 FOR
THE PHASED EXPANSION OF A RECREATIONAL VEHICLE PARK LOCATED
AT 180 AVENUE OF FLAGS (FLYING FLAGS TRAVEL PARK)

I. THE PLANNING COMMISSION OF THE CITY OF BUELLTON DOES HEREBY
FIND AND DETERMINE AS FOLLOWS:

WHEREAS, The City of Buellton has received an application from Ray Thomas, Flying
Flags, Ltd., for Final Development Plan 95-DPF-06 to allow the phased expansion of a
recreational vehicle park at 180 Avenue of Flags.

WHEREAS, The Planning Commission of the City of Buellton held a public hearing on
January 4th, 1996 to consider the request.

WHEREAS, A Draft Negative Declaration was prepared for the original project approval
in 1986 pursuant to the California Environmental Quality Act (CEQA) and circulated for public
review.

WHEREAS, The Draft Negative Declaration was recirculated for additional public review
to allow the public an opportunity to review and comment on the adequacy of the environmental
document.

WHEREAS, the environmental circumstances surrounding the project have not changed
substantially and adverse impacts are mitigated to the maximum extent feasible by Draft Negative
Declaration 85-ND-69. No additional environmental review is required pursuant to Section 15162
of the State CEQA Guidelines.

WHEREAS, Based on the staff analysis, oral and written testimony, and the Negative
Declaration, the Planning Commission finds, after due study, deliberation, and public hearing, the
following circumstances exist:

1. The site for the project is adequate in size, shape, location, and physical characteristics to accommodate the density and intensity of development proposed.
2. Potential adverse impacts are mitigated to the maximum extent feasible.
3. The streets and highways are adequate and properly designed.
4. There are adequate public services, including but not limited to, fire protection, water supply, sewage disposal, and police protection to serve the project.

5. The project will not be detrimental to the health, safety, comfort, convenience, and general welfare of the neighborhood and will not be incompatible with the surrounding areas.
6. The project is in conformance with the applicable provisions of the Zoning Ordinance and the General Plan.
7. The project will not conflict with any easements required for public access through, or public use of a portion of the property.

II. NOW, THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CITY OF BUELLTON DOES HEREBY RESOLVE AS FOLLOWS:

- A. Based on the findings listed in Exhibit "A", Negative Declaration 85-ND-69 is hereby adopted, along with the mitigation measures and monitoring program.
- B. Based on the findings listed in Exhibit "B" the Planning Commission hereby approves Final Development Plan 95-DPF-06, subject to the conditions of approval set forth in Attachment 1.

On motion of Commissioner _____, second by Commissioner _____ this Resolution was adopted this 4th day of January, 1996 by the following roll call vote:

AYES: Commissioners

NOES:

ABSENT:

ABSTAIN:

Mark Mendenhall
Chairman of the Planning Commission

ATTEST:

Therese Brown, Secretary to the Planning Commission

Exhibit "A"

Findings for Adoption of Negative Declaration 85-ND-69

1. A Negative Declaration (85-ND-69) on environmental impact was prepared and circulated for 20 days in accordance with the California Environmental Quality Act (CEQA) and related Guidelines.
2. The Draft Negative Declaration was recirculated for an additional 20 days to allow the public the opportunity to comment on the adequacy of the Negative Declaration.
3. The Negative Declaration was prepared in compliance with CEQA and associated Guidelines.
4. Adverse impacts are mitigated to the maximum extent feasible by the mitigation measures described in Negative Declaration 85-ND-69, and no additional environmental review is required pursuant to Section 15162 of the State CEQA Guidelines.
5. The design of the project was considered by the Planning Commission who concluded that the project will not result in any significant adverse impacts on the environment
6. Negative Declaration 85-ND-69 represents the independent judgement of the Commission, and the Commission has independently reviewed and analyzed the information contained in the Negative Declaration.
7. The project will have no adverse impacts on resources governed by the State Department of Fish and Game. (de minimus finding)
8. The Planning Commission hereby adopts Negative Declaration 85-ND-69, associated mitigation measures and monitoring program,
9. The Commission hereby directs that a Notice of Determination be filed with the County Clerk.

Exhibit "B"

Findings for Approval of Final Development Plan 95-DPF-06

1. The site for the project is adequate in size, shape, location and physical characteristics to accommodate the type of use and intensity of development.
2. Adverse impacts are mitigated to the maximum extent feasible by the previous Negative Declaration (85-ND-69), and no additional environmental review is required pursuant to Section 15162 of the State CEQA Guidelines. The mitigation measures identified in the Negative Declaration are reaffirmed.
4. The project will not be detrimental to the health, safety and welfare of the surrounding neighborhood and will not be incompatible with the surrounding area.
5. The project is consistent with the Comprehensive Plan.

Attachment 1

Conditions of Approval 95-FDP-06

1. Approval of the final development plan shall expire five (5) years after approval by the Planning Director, unless prior to the expiration date substantial physical construction has been completed on the development or the applicant has applied for a time extension. The Director may, upon good cause shown, grant a time extension for one year.
2. The size, shape, arrangement and location of walkways, parking areas, buildings, and landscaped areas shall be developed in substantial conformity with the approved development plan. Substantial conformity shall be determined by the Planning Director. In the event of a disagreement between the applicant and Director, such determination shall be made by the Planning Commission.
3. All parking area locations, design and size and the number of parking spaces shall be in accordance with all applicable provisions of Ordinance Parking Standards.
4. Prior to recordation of Tentative Parcel Map 14,012, a rest room with a minimum of one toilet, shower and lavatory for each sex shall be installed. A temporary facility meeting these standards is allowed subject to review and approval by the Planning Director. In either case, a permanent rest room facility meeting these standards shall be installed with Phase II.
5. The improvements for Phases II and III shall be completed no later than January 30, 2001. All water mains, sewer, on-site roads, service connections and seeding for grass for the remaining RV spaces shall be installed.
6. The project shall be subject to the conditions described in a letter dated 12/14/89 from the County Environmental Health Services Department.
7. The design of the garbage pickup areas shall be architecturally compatible with the overall architecture of the project.
8. All exterior lighting shall be hooded and no unobstructed beam of exterior lighting shall be directed toward any area zoned or developed residential.
9. Lighting shall be designed so as not to interfere with vehicular traffic on any portion of streets.
10. All signs shall comply with Santa Barbara County Code Chapter 35 (Sign regulations).
11. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging or rebuilding of any building, structure or improvement the applicant shall obtain zoning clearance from the City Planning Department.

12. No permits for development, including grading, shall be issued except in conformance with an approved final development plan.
13. All parking areas shall be landscaped and screened in accordance with all applicable provisions of the Buellton Zoning Ordinance, unless replaced with specific landscape and screening conditions.
14. Prior to zoning clearance, the applicant shall file with the City a tree protection plan indicating the trunk location and tree canopy line of all mature native trees. A qualified botanist, horticulturalist or approved tree specialist shall develop a site specific program providing protection during grading, construction and recuperation periods.
15. All trees to be saved on-site shall be fenced at a distance of 10 feet from the dripline.
16. Since construction equipment can generate 90 dBA of sound at 50 feet and residences are nearby, all construction activities, including the warming of construction vehicle engines, shall be limited to weekdays only between the hours of 7 A.M. to 5 P.M.
17. The recreational vehicle development shall be approved by the State Department of Housing and Community Development, Division of Building and Housing Standards prior to zoning clearance.
18. Occupancy of each RV space shall not exceed a 60-day stay unless the local school district and the applicant have entered into a binding agreement, satisfactory to both parties, to mitigate potential impacts on school capacity. This condition shall have been satisfied upon presentation of such agreement to the City prior to zoning clearance. In the event such agreement is made, in lieu of the 60-day stay limit, a 6 -month stay limit shall then become effective. Regardless of such agreement with the local school district, at least 50 (50%) percent of the recreational vehicle spaces shall be limited to transient use in which occupancy shall not exceed 60 days in any calendar year.
19. Owner shall submit semi-annual reports on park occupancy for review by the City Planning Department in a form approved by the City as long as the 60-day stay limit is in effect. Upon implementation of a 6-month stay limit, a report of occupancy for those spaces shall be made annually. All such reports shall include analysis of length of stay on the premises. the reports shall be reviewed by the Planning Director to determine if the facilities continue to retain characteristics of an RV park. If the Director determines that the park no longer retains the characteristics of an RV park, he/she shall refer the matter to the City Planning Commission who may impose additional conditions to assure those characteristics.
20. Prior to building permit issuance, the project shall pay all applicable fees due the City.
21. Dust control methods shall be utilized on demolition or any other dust-producing activities in compliance with Air Pollution Control District (APCD) standards.

22. All final conditions of approval of this project shall be printed on the building plan. These shall be in the form of a photocopy of the final action letter of the decision maker (preferably printed as a separate numbered sheet).
23. Measures to control erosion during construction shall be incorporated into the grading plans, and shall be subject to review and approval by the City Engineer.
24. Faithful performance and labor and material bonds (each to be 100% of the City Engineer's Estimate) shall be posted with the City to cover all public improvements and onsite grading, prior to the issuance of building permit.
25. The applicant shall obtain the necessary engineering permits for grading, street construction and excavation, as needed.
26. Prior to issuance of building permits, the applicant shall submit a soils report, prepared by a registered geologist or qualified civil engineer, concerning soil conditions for grading, footing and foundation construction.
27. All public improvements shall be constructed in conformance with Santa Barbara County, and City of Buellton standards.
28. The applicant shall comply with all standard Fire Department conditions.
29. The following note shall be placed on the construction plans:

If unanticipated archaeological remains are encountered during construction, activity shall be temporarily suspended until a qualified archaeologist can assess the significance of the resource. If necessary, the archaeologist shall recommend mitigation measures to protect the resources. The developer shall implement the mitigation measures, subject to review and approval of the City Planning Department.



COUNTY OF SANTA BARBARA • HEALTH CARE SERVICES

315 CAMINO DEL REMEDIO • SANTA BARBARA, CALIFORNIA 93110 • (805) 681-5200

LAWRENCE HART, M.D., F.A.C.P.M.
DIRECTOR AND HEALTH OFFICER

RECEIVED

JAN 02 1990

S. B. COUNTY (NORTH)
RESOURCE MGT. DEPT.

TO: Resource Management Department
Development Review Division
Attn: Brian Christensen, Planner

FROM: Cindy Robinson
Environmental Health Services

DATE: December 14, 1989

SUBJECT: Case No. 84-CP-65(MD) Buellton Area

Applicant: Ray Thomas
Flying Flags Travel Park
P.O. Box 2100
Santa Barbara, CA 93120

Property Location: Assessor's Parcel No. 137-200-71,
located on the southerly portion of the Flying Flags Trailer
Park, north of the Santa Ynez River, east of Avenue of the
Flags, Buellton.

Case No. 84-CP-65(MD) represents a request for modification
to 84-CP-65 to allow installation of the previously approved
improvements in three phases.

Domestic water supply and sewage disposal is proposed to be
provided by Buellton Community Services District. A can and
will serve letter was issued for the original 1984 CUP by
the district in March of 1987, but was only valid until
March 25, 1988. The applicant will need to obtain another
can and will serve letter for each phase of the project.

Providing the Planning Commission grants approval of the
applicant's request, Environmental Health Services
recommends the following be included as Conditions of
Approval:

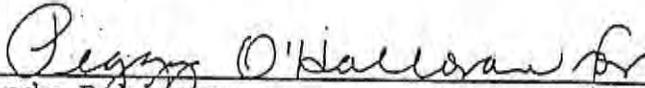
BRANCH OFFICES

500 West Foster Rd.
Santa Maria, CA 93455
(805) 934-6223

751-B East Burton Mesa
Lompoc, CA 93436
(805) 737-7764 of 346

Resource Management Department
Attn: Brian Christensen, Planner
Case No. 84-CP-65(MD)
December 14, 1989

1. Prior to Issuance of Zoning Clearance for each Phase, Environmental Health Services shall approve written notice from the Buellton Community Services District indicating that said district can and will provide domestic water and municipal sewage collection and disposal upon demand and without exception and that all financial arrangements guaranteeing extension of services have been made by the applicant to the satisfaction of the district and Environmental Health Services.
2. Prior to Issuance of Zoning Clearance for Phase II, submit plans for the restroom facility to be used in conjunction with the proposed swimming pool.
3. Prior to Issuance of Zoning Clearance for Phase III, submit plans to Environmental Health Services for review and approval of the swimming pool.
4. Prior to Issuance of a Building Permit, if additional backflow prevention devices are required, the method of backflow protection for the domestic water supply system shall be specified and approved by Environmental Health Services.
5. Prior to Occupancy, any additional backflow prevention device shall be installed as required by Condition 4 and said device(s) inspected and approved by Environmental Health Services.


Cindy Robinson
Environmental Health Services

CR:lh

cc: Owner, Ray Thomas, Flying Flags Travel Park, P.O. Box 2100,
Santa Barbara, CA 93120
Agent, Sid Goldstien, 1610 Oak Street, Suite 103,
Solvang, CA 93463
Buellton Community Services District
County Counsel

LU-797



County of Santa Barbara

RESOURCE MANAGEMENT DEPARTMENT

John Patton, Director

RECEIVED

NOV 20 1989

S. B. COUNTY (NORTH)
RESOURCE MGT. DEPT.

TO: Albert J. McCurdy, Deputy Director
Development Review Division
ATTN: Brian Christensen, Case Planner

FROM: Jeffrey T. Harris, Deputy Director *JTH*
Division of Environmental Review & Compliance

DATE: November 13, 1989

RE: Finding that Section 15162 of the State CEQA Guidelines Applies to
84-CP-65 MD (85-ND-69)

Location: The project is located on the southerly portion of the Flying Flags Trailer Park, north of the Santa Ynez River, east of Avenue of the Flags, in the Buellton area of the Fourth Supervisorial District.

Background

This project was originally reviewed in 85-ND-69 which evaluated the impacts associated with expansion of the travel park. The Board of Supervisors approved 84-CP-65 on February 10, 1986. Land use permits were issued and partial improvements have been installed. The property owner applied for TPM 14,012 to divide the original travel park from the area covered under 84-CP-65. This application for modification to 84-CP-65 is a request to allow installation of the previously approved improvements in three phases. The first phase, which includes installation of 56 spaces, associated onsite improvements, a left-turn lane in Avenue of the Flags, a fire access road, drainage and a path to the river, development of a playground area and landscaping of the river bank, has been completed. Phase II includes development of 40 spaces, bathroom facilities and associated onsite improvements. Phase III would include 48 spaces, associated onsite improvements and installation of the fence and landscaping along U.S. Hwy. 101 (Figure 1).

Changes in Project Impacts:

Aesthetics: The previous document identified potentially significant visual impacts due to the visibility of the site from U.S. 101. To mitigate this impact, installation of a 6 foot fence and planting of vines along the highway side of the fence were required. The applicant has proposed to delay implementation of this measure to Phase III of park development which is expected to begin in September of 1993. An existing RV storage area on the project site is currently visible from U.S. 101. Delay in planting of the screen would result in the continuation of a significant visual impact until Phase III improvements are installed. To mitigate this impact, the applicant shall install 15 gallon non-deciduous, drought tolerant screening trees along

ATTACHMENT C

123 E. Anapamu Street, Santa Barbara, CA 93101

'62 ltr; 84-CP-65 MD
November 13, 1989
Page 2

the west side of the proposed fence alignment. The planting plan shall be submitted to DER for review and approval and planting shall be in place within 30 days of final approval of the modification application.

Biological Resources: The previous document identified potentially significant impacts to biological resources due to construction related activities and increased human activity onsite and within the riparian corridor. Partial mitigation of this impact was to be accomplished through the planting of native riparian plant species along the river bank. However, the landscape plan which was implemented utilized non-native cottonwood and sycamore trees. To assure adequate mitigation of the previously identified impact and prevent impacts from the introduction of non-native trees, the non-native sycamore and cottonwood shall be replaced with native trees (Populus fremontii and Platanus racemosa) within 30 days of final approval of the modification application. The replanting plan shall be submitted to DER for review and approval.

Findings:

It is the finding of this Division that the previous environmental document may be used to fulfill the environmental review requirements of the current project. With incorporation of the measures stated above, no impacts previously found to be insignificant are now significant. Taken together, the original environmental document and this letter fulfill the environmental review requirements of the current project. Because the current project meets the conditions for the application of State CEQA Guidelines Section 15162, no EIR is necessary.

Discretionary processing of 84-CP-54 MD may now proceed with the understanding that any substantial changes in the proposal may be subject to further environmental review.

JTH:VG:jms:6947A



RESOURCE MANAGEMENT DEPARTMENT

DIANNE GUZMAN, AICP
Director

Deputy Directors
Comprehensive Planning
Environmental Review - Jeffrey T. Harris
Current Planning - Albert J. McCurdy

RECEIVED

OCT 28 1985

S.B. COUNTY
RESOURCE MGT. DEPT.

RECEIVED

OCT 24 1985

Santa Barbara County
Environmental Health Services

Department of Resource Management
Current Planning Division
123 East Anapamu Street
Santa Barbara, CA 93101

Dear Ms. Tamura:

The following Negative Declaration (ND) was determined to be "complete" in the Division of Environmental Review (DER) Public Hearing of October 10, 1985.

Attached is one completed copy of Negative Declaration 85-ND-69.

The purpose of sending you this ND is to speed up the County processing procedures. Public hearing scheduling and preliminary consideration by your staff, for example, could occur immediately. The applicant may now proceed to the Planning Department to complete the next phase of processing.

As you know, the County Environmental Guidelines presently require a 6-day appeal period before an ND processed with a public hearing can be considered "final"; therefore, discretionary action on this case cannot take place prior to 5:00 p.m. on October 16, 1985 at which time this ND will be "final", absent a competent appeal.

Please remember that any meaningful changes in the Project Description which might occur may require further environmental review by the Division of Environmental Review. Actions which might be taken that have not received proper environmental review are vulnerable to legal action.

Sincerely,

Jeffrey T. Harris, Deputy Director
Division of Environmental Review

JTH:mp
Attachments
cc: Applicant
Agent

85-ND-69

COUNTY OF SANTA BARBARA
DEPARTMENT OF RESOURCE MANAGEMENT
PROPOSED NEGATIVE DECLARATION

FINAL

RECEIPT DATE: September 16, 1985
APPL: Ray Thomas
AREA: Buellton
PROJ: 84-GP-15; 84-RZ-18;
84-CP-65
PUBLIC HEARING
DATE: October 10, 1985

NEGATIVE DECLARATION: 85-ND-69 (Revised Final)

The Department of Resource Management (DRM) has prepared this Negative Declaration (ND) pursuant to Section 15070 and 15071 of the State Guidelines for the Implementation of the California Environmental Quality Act and the County of Santa Barbara Environmental Guidelines. The ND is a written document which briefly describes the potential adverse impacts of a proposed project and why those impacts will not have a significant effect on the physical environment. The issuance of a Negative Declaration indicates there are no significantly adverse impacts associated with the proposed project and therefore the project does not require the preparation of an Environmental Impact Report (EIR).

LEAD DEPARTMENT CASE NUMBER: 84-GP-15; 84-RZ-18; 84-CP-65

PROJECT APPLICANT: Ray Thomas, P.O. Box 2100, Santa Barbara, Ca 93120.

PROJECT LOCATION: The project site is adjacent to the existing Flying Flags RV Park, north of the Santa Ynez River and south of State Highway 246, in Buellton. Located within the Fourth Supervisorial District (Figure 1).

PROJECT DESCRIPTION: The applicant proposes to increase the size of the existing Flying Flags Travel Park. The proposed project consists of the following components. Refer to Figure 1.

- 144 RV camper spaces, ~~of which~~ 96 would be standard and 48 would be improved to include a private shower, toilet, and sink.
- Expansion of the existing facilities by 7,333 square feet (sq.ft.) to increase the capacity of the laundry, kitchen, social room and add a upstairs meeting room.
- Additional associated facilities of a clubhouse 5,000 sq. ft., showers 2,700 sq. ft., pool in one location, in another there is a recreational lawn area of 40,000 square feet and ~~two~~ four tennis courts, of which two would be lighted.
- Staff housing would require nine of the camping spaces.
- An ~~20,000~~ approximately 40,000 square foot area with 30 camping spaces would be designated only for tent campers.
- An approximately 30,000 square foot graveled area designated for R.V. storage, with 1,800 sq. ft. storage shed.

The proposed development discussed above is located on one assessors parcel 137-200-71 of 12.8 acres; however the legal parcel includes another 11.5 acres, parcel 137-200-72. This parcel is located in the Santa Ynez River 100 year flood plain, and is designated "not to be developed". The only access would be from the Avenue of the Flags through the existing Travel Park gate, no changes are proposed with this application. Water and sewer would be provided by the Buellton Community Services District.

ASSESSOR'S PARCEL NUMBER AND TOTAL ACREAGE: 137-200-71-72; 37.13 acres.

COMPREHENSIVE PLAN LAND USE AND CURRENT ZONING DESIGNATIONS: The Comprehensive Plan Land Use designation is A-1-5, agricultural 5 acre minimum parcel. Zoning is ~~AG-1-5~~ AG-1-5.

ENVIRONMENTAL SETTING: The project site is characterized by relatively flat topography with zero to two percent slopes produced by river alluvium, Metz loamy sand, Class III. The existing park consists of 212 camper spaces with associated facilities (office, laundry, showers, kitchen, pool, spa, game room, and RV maintenance station) developed on 12.8 acres. Annual grasses cover the area of proposed development; riparian vegetation borders the river bank. U.S. Highway 101 borders the site on the east and can generate noise levels up to 68 dbA onsite, impacting proposed camper areas. The park is protected from noise along State Highway 246 by intervening commercial buildings to the north. Zaca Creek flows along the northern property line protected by a chain link fence. Avenue of Flags borders the site on the west. On the southern boundary is the the Santa Ynez River channel and flood plain occupies 11.5 acres. No rare or endangered species have been reported onsite. No archaeological sites recorded onsite.

INITIAL STUDY SUMMARY: The staff of the DRM has determined that there are no potentially significant adverse environmental impacts associated with the project as proposed. The areas below were analyzed in the initial study. This study and background information are kept on file in the DRM office and are a part of these findings.

Flooding	<u>XX</u>	Risk of Upset	<u> </u>	Geology/ Minerals/Soils	<u>XX</u>
Air Quality	<u> </u>	Land Use	<u>XX</u>	Fire Hazards	<u> </u>
Groundwater Resources	<u> </u>	Public Services	<u> </u>	Recreation	<u>XX</u>
Flora	<u>XX</u>	Utilities/ Private Systems	<u>XX</u>	Housing	<u> </u>
Fauna	<u>XX</u>	Transportation/ Circulation	<u>XX</u>	Economics	<u> </u>
Noise	<u>XX</u>	Aesthetics	<u>XX</u>	Archaeological Resources	<u> </u>
Polluting Sources	<u> </u>	Energy	<u> </u>	Cultural/Ethnic Resources	<u> </u>

The checks indicate areas of potential impacts which were further ~~analyzed~~ investigated

FINDING OF NO SIGNIFICANT IMPACT: It is the finding of the DRM that this project does not have the potential to cause significant adverse environmental impacts for the following reasons:

Flora/Fauna: The Environmental Resource Management Element (ERME) identifies the site as containing "prime ecological communities" and "significant habitats", referring to the riparian habitat bordering both Zaca Creek and the Santa Ynez River. Riparian habitats provide a relatively sheltered micro climate, which fosters a variety of wildlife. This vegetation cover serves as nesting sites and travel corridors for a number of bird and mammal species. And it is likely that a number of mammals, birds, reptiles, and amphibians are dependent on the Santa Ynez River for their water supply. There is a potential for significant damage to this habitat due to the project construction and later, from humans wandering indiscriminately through the riparian area to reach the river. During the construction phase the riparian corridor shall be fenced off with heavy duty turkey wire or chain link along the northern most tree and shrub driplines. This chain link fence shall be removed after construction and a 3 to 4 feet split rail fence installed. A "formal" walking path shall be developed down to the river, to allow people access to the river without cutting through the underbrush. Because this path would follow an existing trail, no brush removal would occur to construct this path. The applicant has also agreed to plant native riparian species (to be reviewed by DER) along the bank to mitigate the any project impacts.

Public Services: The Buellton Community Services District (BCSD) has reached its sewer capacity limit. Plant expansion construction is presently underway and the expected completion date is October 1985, phone conversation BCSD 9/3/85. Since this plant expansion, capacity increased to 650,000 gal/day, is expected to be able to handle this new waste, maximum demand 14,790 gal/day, the impact is considered less than significant.

Water: The proposed project is estimated to use approximately 30 acre feet a year (AFY). The project expansion is basically a duplication of the existing park, almost doubling the existing water demand. The final water demand (existing and proposed) would be 66 AFY. Due to the availability of uncommitted water supplied (BSCD) the impact is considered adverse but not significant. The BSCD is not in a basin subject to a water threshold.

Transportation/Circulation: The Associated Transportation Engineers' traffic study of May 16, 1985 indicates that the proposed project would generate 714 additional daily trips (ADT) and 59 pm peak hour trips (PHT). The complete project (existing and proposed) would generate 1590 ADT and 131 PHT. All intersections are currently operating with an acceptable level of service (LOS) and would continue to do so with the addition of the project specific traffic (Roads Division, Public Works Dept.). Even with the completion of the cumulative projects (approved) in the area, all intersections would operate satisfactorily. Only the intersection of State Highway 246 and Avenue of the Flags would experience an adverse drop in LOS, from A to C, based on cumulative buildout. While no significant impacts were indicated in the report, site specific or cumulatively, this report analyzed traffic for a yearly average and does not address the peak season traffic rates. The area during the summer (tourist season) would experience much higher traffic rates, with a resulting decrease in LOS for the major intersections.

The report also made two suggestions to reduce accident potential which the Roads Dept. will put as condition on project: (1) Restrict parking on both sides of the Avenue of the Flags within 100 feet of the intersection, and (2) Create a left hand turning pocket on the Avenue of Flags for access to the travel park. With incorporation with these measures, traffic impacts would be mitigated to insignificant levels.

Recreational Resources: The proposed project is attempting to provide for a demonstrated need in the area, a lack of RV camping spaces. During the summer months the park is often filled to overflowing. There are currently 160 RV camping spaces in the Santa Ynez Valley, outside of the 212 spaces existing at Flying Flags. With the above information and public response, the project would provide a needed service in the area.

Flooding: The site is bordered on the south by the Santa Ynez River. No development is proposed for parcel 137-200-72, the southern most 11.5 acres. Santa Barbara County Flood Control (SBCFCD) has required a 200 foot development set back from the bank to protect people and structures from flooding or undercutting of the river bank. The project has only two tennis courts and a recreational open space within this set back area, which is allowed by SBCFCD. With adherence to SBCFCD conditions, potential impacts from flooding would not be significant. The loudspeaker used onsite for announcements shall be used only from 8 a.m. to 8 p.m. The volume shall be adjusted so no noise is heard beyond the property line.

Noise: The principal source of noise affecting the project site is vehicular traffic on U.S. Highway 101, adjacent to the site on the east. According to the noise study of May 17, 1985 by Bruce Walker, acoustical consultant, noise levels onsite reach 68 dbA along the eastern border. The construction of a six foot solid wood fence would reduce exterior noise levels down to a maximum of 62 dbA; while a majority of the site would be at approximately 50 dbA. Reduction of the noise levels by the fence would reduce the potential noise impact to less than significant.

Aesthetic Resources: The site is fully visible from U.S. Highway 101, but a six foot wooden fence is to be constructed along the eastern border. Landscaping both sides of this fence; trees planted on the interior (according to the landscape plan) and vines planted on the Highway side would reduce the impact to insignificance. The final landscape plan shall be submitted and approved by DER prior to land use clearance. The tennis courts would be lighted until 11:00 p.m.. Shielding and focussing these lights only on the court area would make this impact adverse but not significant.

MITIGATION MEASURES : The following mitigation measures have been included in this project to avoid potentially significant adverse environmental effects:

1. The applicant shall plant native trees along the river bank top, to be indicated in the final landscape plan. This landscape plan shall be submitted and reviewed by DER prior to land use clearance.
2. During the construction phase the riparian corridor shall be ~~fenced~~ staked off with heavy duty wire or chain link 5" foot stakes every 10 feet along the northern most tree and shrub driplines. ~~Vegetation~~ Staking shall be in place prior to the issuance of a grading plan and shall be verified onsite by photography.

3. The ~~wood/iron/wood~~ stakes shall be removed after construction and a split rail fence installed, 3 to 4 feet in height.
4. A "formal" walking path shall be developed down to the river, to allow people access to the river. No brush removal shall occur to construct this path.
5. No grading shall be allowed outside of parcel 71. (i.e. riparian corridor, for path, on slope)
6. An open six foot high wooden fence to act as a noise barrier shall be constructed along the eastern property boundary, as indicated on the landscape plan.
7. A number of vines shall be planted on the Highway side of the wooden fence, as indicated on the final landscape plan. And the "deluxe space" structures shall be landscaped to reduce the visual impact.
8. The loudspeaker noise shall not be audible beyond the property line. Hours of operation for the loudspeaker shall be limited to from 8 a.m. to 8 a.m., 7 days a week.

DOCUMENT PREPARED BY: Environmental Planner Wendy Wittl. Please contact Ms. Wittl at 963-7171 if you have any questions.

CHANGES IN "PROJECT DESCRIPTION": Any element in the project description that is not met as described shall constitute an action not considered as part of the initial study for this ND. In these cases, the DRM requests a complete reevaluation in light of these element changes. This reevaluation may be subject to all regular fees and conditions.

PUBLIC HEARING: The public hearing will be held at 9:30 a.m. on October 10, 1985 in the Santa Barbara County Administration Building, 123 East Anapamu Street, Santa Barbara, Ca. 93101. If you cannot attend this meeting, please make sure that written testimony reaches this office 24 hours in advance of the hearing. Telephone testimony also will be accepted. Copies of this ND may be obtained at our office. Anyone wishing to see the project file for this ND may do so by visiting our office.

WW:mp 1197A

SID GOLDSTIEN - CIVIL ENGINEER, INC.

planning • design • studies • residential/commercial development

650 ALAMO PINTADO ROAD
SUITE 302

SOLVANG, CA. 93463

(805) 688-1526

FAX (805) 688-6582

March 26, 1992

Mr. Greg Fuz
Santa Barbara County
Resource Management
624 West Foster Road
Santa Maria, CA 93455

Re: Flying Flags Travel Park
84-CP-65
Time Extension

Dear Greg:

The conditions of approval for the above project required construction of Phase II to be completed in September, 1992, and Phase III to be completed in September, 1994. Due to the economic recession and difficulty in obtaining financing, we request that a time extension be granted to permit construction for Phase II to be completed in September, 1994, and Phase III to be completed in September, 1996.

This project is located in the City of Buellton, and we understand that the City Council will decide this matter. Enclosed is a check in the amount of \$1134 as your fee required for time extensions. Please call should you need further information to process this request.

Thank you.

Sincerely yours,

Sid Goldstien

SG:kg

Enc.

C.C. Ray Thomas

84-02-101

Attachment 3

PLANNING COMMISSION RESOLUTION 96-01

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF BUELLTON
APPROVING FINAL DEVELOPMENT PLAN 95-DPF-06 FOR
THE PHASED EXPANSION OF A RECREATIONAL VEHICLE PARK LOCATED
AT 180 AVENUE OF FLAGS (FLYING FLAGS TRAVEL PARK)

I. THE PLANNING COMMISSION OF THE CITY OF BUELLTON DOES HEREBY
FIND AND DETERMINE AS FOLLOWS:

WHEREAS, The City of Buellton has received an application from Ray Thomas. Flying
Flags, Ltd., for Final Development Plan 95-DPF-06 to allow the phased expansion of a
recreational vehicle park at 180 Avenue of Flags.

WHEREAS, The Planning Commission of the City of Buellton held a public hearing on
January 4th, 1996 to consider the request.

WHEREAS, A Draft Negative Declaration was prepared for the original project approval
in 1986 pursuant to the California Environmental Quality Act (CEQA) and circulated for public
review.

WHEREAS, The Draft Negative Declaration was recirculated for additional public review
to allow the public an opportunity to review and comment on the adequacy of the environmental
document.

WHEREAS, the environmental circumstances surrounding the project have not changed
substantially and adverse impacts are mitigated to the maximum extent feasible by Draft Negative
Declaration 85-ND-69. No additional environmental review is required pursuant to Section 15162
of the State CEQA Guidelines.

WHEREAS, Based on the staff analysis, oral and written testimony, and the Negative
Declaration, the Planning Commission finds, after due study, deliberation, and public hearing, the
following circumstances exist:

1. The site for the project is adequate in size, shape, location, and physical characteristics to accommodate the density and intensity of development proposed.
2. Potential adverse impacts are mitigated to the maximum extent feasible.
3. The streets and highways are adequate and properly designed.
4. There are adequate public services, including but not limited to, fire protection, water supply, sewage disposal, and police protection to serve the project.

Attachment 3

Planning Commission
Resolution 96-01

5. The project will not be detrimental to the health, safety, comfort, convenience, and general welfare of the neighborhood and will not be incompatible with the surrounding areas.
6. The project is in conformance with the applicable provisions of the Zoning Ordinance and the General Plan.
7. The project will not conflict with any easements required for public access through, or public use of a portion of the property.

II. NOW, THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CITY OF BUELLTON DOES HEREBY RESOLVE AS FOLLOWS:

- A. Based on the findings listed in Exhibit "A", Negative Declaration 85-ND-69 is hereby adopted, along with the mitigation measures and monitoring program.
- B. Based on the findings listed in Exhibit "B" the Planning Commission hereby approves Final Development Plan 95-DPF-06, subject to the conditions of approval set forth in Attachment 1.

On motion of Commissioner Robinson, second by Commissioner Ward this Resolution was adopted this 4th day of January, 1996 by the following roll call vote:

AYES: Commissioners Cahill, Hendrick, Robbins, Robinson, Ward, Chairman Mendenhall

NOES: None

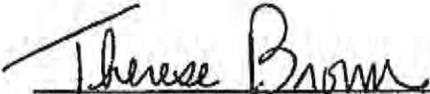
ABSENT: Commissioner Ward

ABSTAIN: None



Mark Mendenhall
Chairman of the Planning Commission

ATTEST:



Therese Brown, Secretary to the Planning Commission

Attachment 3

Planning Commission
Resolution 96-01

Exhibit "A"

Findings for Adoption of Negative Declaration 85-ND-69

1. A Negative Declaration (85-ND-69) on environmental impact was prepared and circulated for 20 days in accordance with the California Environmental Quality Act (CEQA) and related Guidelines.
2. The Draft Negative Declaration was recirculated for an additional 20 days to allow the public the opportunity to comment on the adequacy of the Negative Declaration.
3. The Negative Declaration was prepared in compliance with CEQA and associated Guidelines.
4. Adverse impacts are mitigated to the maximum extent feasible by the mitigation measures described in Negative Declaration 85-ND-69, and no additional environmental review is required pursuant to Section 15162 of the State CEQA Guidelines.
5. The design of the project was considered by the Planning Commission who concluded that the project will not result in any significant adverse impacts on the environment.
6. Negative Declaration 85-ND-69 represents the independent judgement of the Commission, and the Commission has independently reviewed and analyzed the information contained in the Negative Declaration.
7. The project will have no adverse impacts on resources governed by the State Department of Fish and Game. (de minimus finding)
8. The Planning Commission hereby adopts Negative Declaration 85-ND-69, associated mitigation measures and monitoring program.
9. The Commission hereby directs that a Notice of Determination be filed with the County Clerk.

Attachment 3

Planning Commission
Resolution 96-01

Exhibit "B"

Findings for Approval of Final Development Plan 95-DPF-06

1. The site for the project is adequate in size, shape, location and physical characteristics to accommodate the type of use and intensity of development.
2. Adverse impacts are mitigated to the maximum extent feasible by the previous Negative Declaration (85-ND-69), and no additional environmental review is required pursuant to Section 15162 of the State CEQA Guidelines. The mitigation measures identified in the Negative Declaration are reaffirmed.
4. The project will not be detrimental to the health, safety and welfare of the surrounding neighborhood and will not be incompatible with the surrounding area.
5. The project is consistent with the Comprehensive Plan.

Attachment 3

Planning Commission
Resolution 96-01

Attachment 1

Conditions of Approval 95-FDP-06

1. Approval of the final development plan shall expire five (5) years after approval by the Planning Director, unless prior to the expiration date substantial physical construction has been completed on the development or the applicant has applied for a time extension. The Director may, upon good cause shown, grant a time extension for one year.
2. The size, shape, arrangement and location of walkways, parking areas, buildings, and landscaped areas shall be developed in substantial conformity with the approved development plan. Substantial conformity shall be determined by the Planning Director. In the event of a disagreement between the applicant and Director, such determination shall be made by the Planning Commission.
3. All parking area locations, design and size and the number of parking spaces shall be in accordance with all applicable provisions of Ordinance Parking Standards.
4. Prior to recordation of Tentative Parcel Map 14,012, a rest room with a minimum of one toilet, shower and lavatory for each sex shall be installed. A temporary facility meeting these standards is allowed subject to review and approval by the Planning Director. In either case, a permanent rest room facility meeting these standards shall be installed with Phase II.
5. The improvements for Phases II and III shall be completed no later than January 30, 2001. All water mains, sewer, on-site roads, service connections and seeding for grass for the remaining RV spaces shall be installed.
6. The project shall be subject to the conditions described in a letter dated 12/14/89 from the County Environmental Health Services Department.
7. The design of the garbage pickup areas shall be architecturally compatible with the overall architecture of the project.
8. All exterior lighting shall be hooded and no unobstructed beam of exterior lighting shall be directed toward any area zoned or developed residential.
9. Lighting shall be designed so as not to interfere with vehicular traffic on any portion of streets.
10. All signs shall comply with Santa Barbara County Code Chapter 35 (Sign regulations).
11. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging or rebuilding of any building, structure or improvement the applicant shall obtain zoning clearance from the City Planning Department.

Attachment 3

Planning Commission
Resolution 96-01

12. No permits for development, including grading, shall be issued except in conformance with an approved final development plan.
13. All parking areas shall be landscaped and screened in accordance with all applicable provisions of the Buellton Zoning Ordinance, unless replaced with specific landscape and screening conditions.
14. Prior to zoning clearance, the applicant shall file with the City a tree protection plan indicating the trunk location and tree canopy line of all mature native trees. A qualified botanist, horticulturalist or approved tree specialist shall develop a site specific program providing protection during grading, construction and recuperation periods.
15. All trees to be saved on-site shall be fenced at a distance of 10 feet from the dripline.
16. Since construction equipment can generate 90 dBA of sound at 50 feet and residences are nearby, all construction activities, including the warming of construction vehicle engines, shall be limited to weekdays only between the hours of 7 A.M. to 5 P.M.
17. The recreational vehicle development shall be approved by the State Department of Housing and Community Development, Division of Building and Housing Standards prior to zoning clearance.
18. Occupancy of each RV space shall not exceed a 60-day stay unless the local school district and the applicant have entered into a binding agreement, satisfactory to both parties, to mitigate potential impacts on school capacity. This condition shall have been satisfied upon presentation of such agreement to the City prior to zoning clearance. In the event such agreement is made, in lieu of the 60-day stay limit, a 6-month stay limit shall then become effective. Regardless of such agreement with the local school district, at least 50 (50%) percent of the recreational vehicle spaces shall be limited to transient use in which occupancy shall not exceed 60 days in any calendar year.
19. Owner shall submit semi-annual reports on park occupancy for review by the City Planning Department in a form approved by the City as long as the 60-day stay limit is in effect. Upon implementation of a 6-month stay limit, a report of occupancy for those spaces shall be made annually. All such reports shall include analysis of length of stay on the premises. The reports shall be reviewed by the Planning Director to determine if the facilities continue to retain characteristics of an RV park. If the Director determines that the park no longer retains the characteristics of an RV park, he/she shall refer the matter to the City Planning Commission who may impose additional conditions to assure those characteristics.
20. Prior to building permit issuance, the project shall pay all applicable fees due the City.
21. Dust control methods shall be utilized on demolition or any other dust-producing activities in compliance with Air Pollution Control District (APCD) standards.

Attachment 3

Planning Commission
Resolution 96-01

22. All final conditions of approval of this project shall be printed on the building plan. These shall be in the form of a photocopy of the final action letter of the decision maker (preferably printed as a separate numbered sheet).
23. Measures to control erosion during construction shall be incorporated into the grading plans, and shall be subject to review and approval by the City Engineer.
24. Faithful performance and labor and material bonds (each to be 100% of the City Engineer's Estimate) shall be posted with the City to cover all public improvements and onsite grading, prior to the issuance of building permit.
25. The applicant shall obtain the necessary engineering permits for grading, street construction and excavation, as needed.
26. Prior to issuance of building permits, the applicant shall submit a soils report, prepared by a registered geologist or qualified civil engineer, concerning soil conditions for grading, footing and foundation construction.
27. All public improvements shall be constructed in conformance with Santa Barbara County, and City of Buellton standards.
28. The applicant shall comply with all standard Fire Department conditions.
29. The following note shall be placed on the construction plans:

If unanticipated archaeological remains are encountered during construction, activity shall be temporarily suspended until a qualified archaeologist can assess the significance of the resource. If necessary, the archaeologist shall recommend mitigation measures to protect the resources. The developer shall implement the mitigation measures, subject to review and approval of the City Planning Department.



City of Buellton

January 8, 1995

County Clerk of the Board of Supervisors
County of Santa Barbara
105 E. Anapamu, Room 407
Santa Barbara, CA 93101

SUBJECT: Notices of Determination

In accordance with the California Environmental Quality Act (Public Resources Code §21000, et seq) the City of Buellton is submitting the enclosed Notices of Determination for filing with the County Clerk. If you have any questions, please call the Buellton Planning Department at (805) 686-7474.

Sincerely,

David Moran
Senior Planner

Notice of Determination

TO: Office of Planning and Research
1400 tenth Street, Room 121
Sacramento, CA 95814

FROM: City of Buellton
Planning Department
140 W. Highway 246
Buellton, CA 93427
(805) 688-7474

County Clerk of the Board of Supervisors
County of Santa Barbara
105 Anapamu
Santa Barbara, CA 93101

Project Title and File Number: Flying Flags RV Park Expansion Final Development Plan 95-FDP-06

Project Contact Person: David Moran, Senior Planner

Project Location: 26 acre site located at 180 Avenue of Flags

Project Description: Development plan for phased expansion of RV park.

State Clearinghouse Number: N/A

This is to advise that the City of Buellton, on January 4, 1996, has approved the project described above and has made the following determinations:

1. The project will will not have a significant effect on the environment.
2. An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.
3. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
4. Mitigation measures were were not made a condition of project approval.
5. A statement of overriding considerations was was not adopted for this project.
6. Findings were were not made pursuant to CEQA.

A copy of the Negative Declaration, and a record of project approval, may be examined at the City of Buellton Planning Department, 140 W. Highway 246.

Signature:

Date Received For Filing at County:

Title: Senior Planner

Date: January 4, 1996

CITY OF BUELLTON Planning Commission Agenda Staff Report

Planning Director Review: MSB
Planning Commission Agenda Item No.: 3

To: The Honorable Chair and Commission Members
From: Angela Perez, Assistant Planner
Date: March 20, 2014
Subject: Resolution No. 14-04 - "A Resolution of the Planning Commission of the City of Buellton, California, Approving a Negative Declaration (13-ND-02) and a Time Extension (13-TE-03) Request for Final Development Plan (95-FDP-06), and Making Findings in Support Thereof"

BACKGROUND

Prior to City incorporation, the County of Santa Barbara approved a Conditional Use Permit (84-CP-65) for the expansion of the Flying Flags Recreational Vehicle (RV) Resort, which is located at 180 Avenue of Flags (see Attachment 1 - Vicinity Map). The property is planned and zoned for General Commercial (CR). The approval included camp sites, additions to existing facilities, new facilities (clubhouse, showers, pool, recreational area and lighted tennis courts), and space for RV storage (see Attachment 2 - County Conditions of Approval). The expansion was not completed. An approved conditional use permit does not expire without due process (i.e., a noticed public hearing). The Buellton City Council approved a Time Extension for the Conditional Use Permit in 1993. In 1996 the Buellton Planning Commission approved a Final Development Plan (95-FDP-06) for the expansion of the Flying Flags RV Resort (see Attachment 3 - Planning Commission Resolution No. 96-01). The approved expansion was the same as the approved project in the Conditional Use Permit and supersedes the County CUP.

DISCUSSION

The Applicant has now applied for a Time Extension (13-TE-03) for the Final Development Plan (95-FDP-06). Staff recommended that a Time Extension be processed so that an updated environmental document and conditions of approval could be prepared for this project to reflect current conditions and requirements.

The Flying Flags RV Resort currently contains camp sites, a clubhouse, pool, convenience store, snack bar, laundry facilities, RV storage and other amenities. The Flying Flags RV Resort is located on two parcels, APN 137-200-085 and 137-200-086. APN 137-200-086 is currently built out. APN 137-200-085 has some camp sites, a

restroom building, play equipment, three roads and RV storage on the property. This is the property where the expansion is proposed. The expansion includes a second swimming pool with a pavilion, 46 RV camp sites (combination of full hookup, partial hookup, and no hookup RV/tent spaces), 40 parking spaces, two restroom buildings, paved roads, expanded restaurant and a sports/recreation field (see Attachments 4-16, Project Plans). The current project is basically the same as the previously approved projects, except the current project does not include lighted tennis courts.

The proposal conforms to all the City’s general commercial zoning standards as summarized in the following table (reference Buellton Municipal Code sections 19.02.220, 19.04.120, and 19.04.142). The project is also in conformance with the applicable policies of the Buellton General Plan.

Development Feature	City Requirement	Proposed	Project Consistency
Minimum Lot Area	None Required	14.05 acres	Consistent
Front Setback	None	216 feet	Consistent
Side Setback	None	74 feet and 220 feet	Consistent
Rear Setback	10 feet	195 feet	Consistent
Landscaping	5%	Approximately 8%	Consistent
Site Coverage	None Required	.01%	Consistent
Height Limit	35 feet	24 feet	Consistent
Parking	1 per camp site and 1 per 5 employees Total = 111 spaces	48 visitor parking spaces and 108 camp site spaces Total = 156	Consistent

Source: City of Buellton Municipal Code, Title 19, Zoning.

The architectural style of the buildings is Agrarian. The buildings have corrugated tin roofing, stone accents, board and batt barn siding, accent columns and wood louvers.

The Planning Commission may, upon good cause shown, grant a time extension (See Attachment 18 - Buellton Municipal Code (BMC) Section 19.08.120.H).

ENVIRONMENTAL REVIEW

An Initial Study/Negative Declaration (ND) was prepared in accordance with the requirements of the California Environmental Quality Act (“CEQA”), Public Resources Code section 21000 et seq., the State CEQA Guidelines, 14 C.C.R. section 15000 et seq., and the Environmental Procedures of the City of Buellton (see Attachment 17 – Negative Declaration). The Initial Study/Negative Declaration and all related environmental background documents forming the basis for this Negative Declaration are located in, and in the custody of, the Buellton Planning Department. It was determined that there will be no significant environmental impacts with this project. The public comment period is from February 27, 2014 through March 19, 2014. No comments had been received at the time this report was prepared.

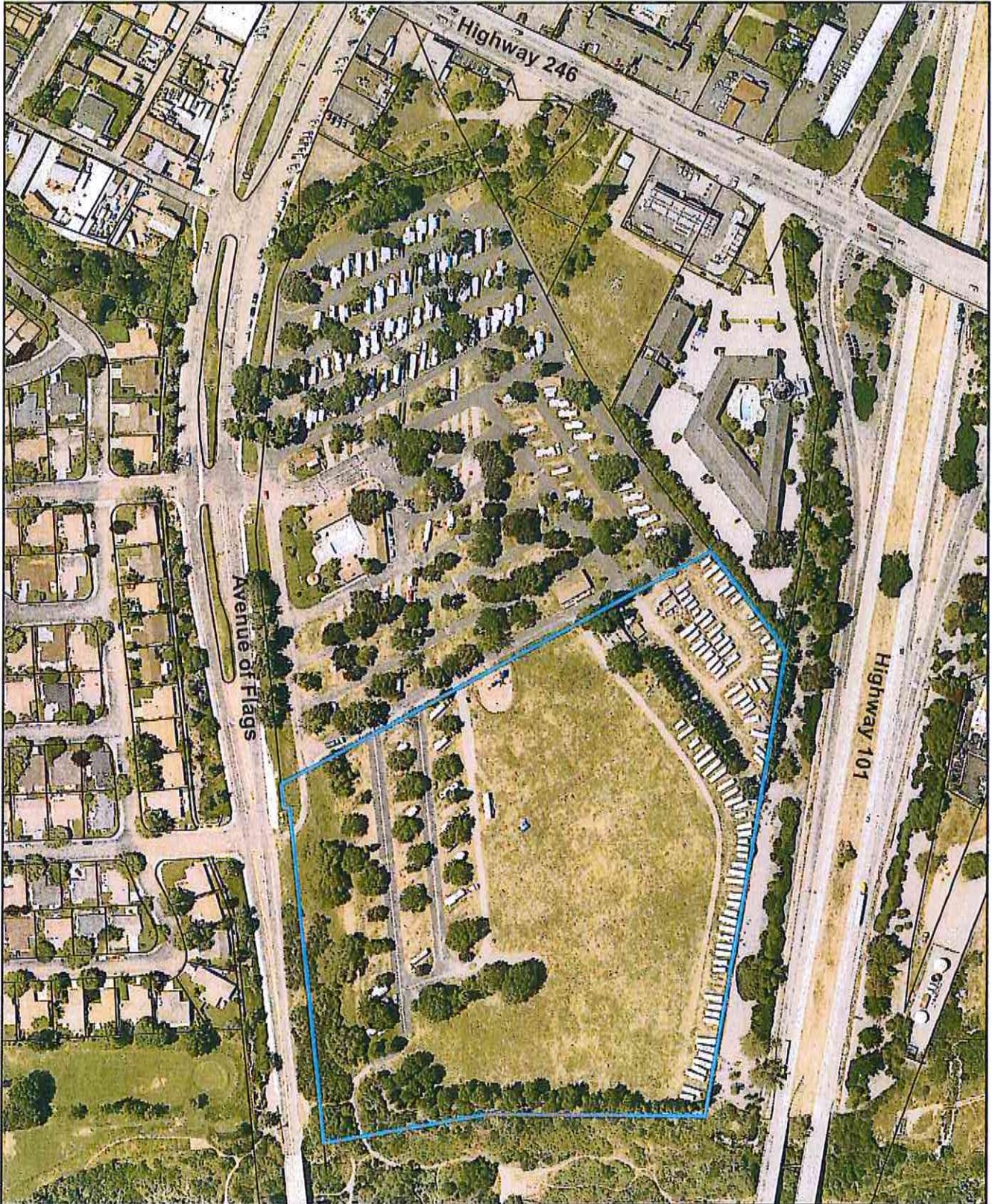
RECOMMENDATION

That the Planning Commission consider the adoption of Resolution No. 14-04, "A Resolution of the Planning Commission of the City of Buellton, California, Approving a Negative Declaration (13-ND-02) and a Time Extension (13-TE-03) Request for Final Development Plan (95-FDP-06), and Making Findings in Support Thereof" by title only and waive further reading.

ATTACHMENTS

Attachment 1 – Vicinity Map
Attachment 2 – County Conditions of Approval
Attachment 3 – Planning Commission Resolution No. 96-01
Attachment 4 – Title Sheet
Attachment 5 – Site Grading Plan
Attachment 6 – Sewer Plan
Attachment 7 – Water Plan
Attachment 8 – Road Plan
Attachment 9 – Details
Attachment 10 – Erosion Control Plan
Attachment 11 – Electrical Plans
Attachment 12 – Pool Pavilion Plans
Attachment 13 – Pool Bathroom Plans
Attachment 14 – Pool Lounge Plans
Attachment 15 – Tent Bathroom Plans
Attachment 16 – Café Tenant Improvement Plan
Attachment 17 – Negative Declaration
Attachment 18 – Buellton Municipal Code Section 19.08.120.H
Planning Commission Resolution No. 14-04

Attachment 1 - Vicinity Map



0 90 180 360
Page 77 of 346
Feet

Attachment 2

P/C Hearing: February 8, 1990

SANTA BARBARA COUNTY CONDITIONAL USE PERMIT
ARTICLE III, CHAPTER 35

CASE NO. 84-CP-65 (MD)

I. A Conditional Use Permit is hereby granted:

TO: Flying Flags, Ltd.

APN: 137-200-071

PROJECT ADDRESS: 180 Avenue of the Flags, Buellton, CA 93427

ZONE: C-2

AREA/SUPERVISORIAL

DISTRICT: Fourth Supervisorial District

FOR: Recreational Vehicle Park

II. This permit is subject to compliance with the following conditions:

1. Within 30 days of the approval of 84-CP-65 (MD) and prior to recordation of TPM 14,012, the applicant shall submit a landscape planting plan, together with an irrigation plan. The irrigation plan shall indicate the most appropriate irrigation system which should be primarily a drip system. All irrigation should be automatically controlled, with the potential for utilizing moisture sensors. Mulch shall be incorporated extensively in all landscaped areas. The plan shall be reviewed and approved by the Resource Management Department (RMD).
2. Within 30 days of the final approval of 84-CP-65 (MD) and prior to recordation of TPM 14,012, a performance security shall be filed with the RMD, to guarantee:
 - a. Installation of landscaping, walls and fences in accordance with the approved landscape plan.
 - b. Landscaping will be maintained for a period of two (2) years and shall be installed within 120 days of the approval of 84-CP-65 (MD) and prior to recordation of TPM 14,012.
 - c. Installation of 15-gallon nondeciduous, drought-tolerant screening trees along the west side of the eastern boundary fence alignment (adjacent to the RV storage area).

The conditions shall be implemented or RMD shall verify that there is sufficient bonding for the project.

Attachment 2

3. Performance securities for installation of landscaping, walls and fences will be released by RMD after its inspection and approval of such installations. That portion of the performance security for maintenance of the landscaping will be released after a two (2) year period providing the landscaping has been adequately maintained.
4. Prior to recordation of TPM 14,012, all buildings necessary to meet the state building standards for a separate and safe recreational vehicle (RV) park approved by 84-CP-65, shall be constructed on Parcel B, or, the RV park shall be abandoned by notifying RMD in writing of the intent to abandon and, within sixty days after notification for abandonment is filed, the site shall be restored to the natural contour of the land and all facilities shall be removed to the satisfaction of RMD. This shall include a rest room with a minimum of one toilet, shower and lavatory for each sex. A temporary facility, meeting all these standards, is permissible with skirting and with proper access. The location of this temporary facility shall be shown on the Exhibit A as attached. A permanent rest room facility shall be constructed as part of Phase II.
5. The improvements for Phase II as described in Section VI(A) shall commence no earlier than the completion of Phase I and shall be completed no later than 09/92. All water mains, sewer, on-site roads, service connections and seeding for grass for the 40 RV spaces will occur in Phase II.
6. The improvements for Phase III as described in Section VI(A) shall commence no earlier than the completion of Phase II and shall be completed no later than September, 1994. All water mains, sewer, on-site roads, service connections and seeding for grass for the remaining RV spaces will occur in Phase III.
7. Environmental Health Services letter dated 12/14/89.
8. The size, shape, arrangement, and location of buildings, walkways, parking areas and landscaped areas shall be developed in substantial conformity with the approved development plan marked Planning Commission Exhibit A, dated 02/08/90. Substantial conformity shall be determined by the Resource Management Department Director. In the event of a disagreement, such determination shall be made by the Planning Commission.
9. The design of the garbage pickup areas shall be architecturally compatible with the overall architecture of the project.
10. All exterior lighting shall be hooded and no unobstructed beam of exterior lighting shall be directed toward any area zoned or developed residential.
11. Lighting shall be designed so as not to interfere with vehicular traffic on any portion of streets.

Attachment 2

12. All signs shall comply with Santa Barbara County Code Chapter 35 (Sign Regulations).
13. All parking area locations, design, and size and the number of parking spaces shall be in accordance with all applicable provisions of Ordinance Parking Standards, unless the project has been granted a modification because it is in a zone district requiring a development plan.
14. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging or rebuilding of any building, structure or improvement the applicant shall obtain a LUP from the Resource Management Department (RMD). The LUP is required by ordinance and is necessary to ensure implementation of the conditions required by the Planning Commission. Prior to LUP issuance by RMD, the applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all preconstruction conditions. A form for such clearance is available in the Resource Management Department.
15. No permits for development, including grading, shall be issued except in conformance with an approved final development plan.
16. All final plans of buildings and structures shall be subject to approval by the Board of Architectural Review prior to LUP issuance.
17. All parking areas shall be landscaped and screened in accordance with all applicable provisions under ordinance parking standards, unless replaced with specific landscape and screening conditions.
18. Prior to LUP issuance, the applicant shall file with RMD a tree protection plan indicating the trunk location and tree canopy line of all mature native trees. A qualified botanist, horticulturist or approved tree specialist shall develop a site-specific program providing protection during grading, construction and recuperation periods.
19. The Division of Environmental Review requires that the trees to be saved on-site be fenced at a distance of 10 feet from the dripline.
20. If human remains or associated burial artifacts are discovered during construction, construction shall be halted until a Division of Environmental Review approved archaeologist and native American consultant can make a determination of the find's significance and appropriate disposition.
21. Since construction equipment can generate 90 dBA at 50 feet and residences are nearby, all construction activities, including the warming of construction vehicle engines, shall be limited to weekdays only between the hours of 7 a.m. to 5 p.m.

Attachment 2

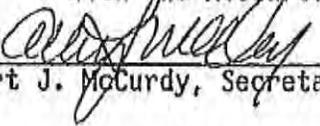
22. Prior to recordation of TPM 14,012, the applicant shall pay a nonrefundable compliance fee of such amount as may be authorized under ordinance and fee schedules in effect at the time the fees are paid. The permit compliance fees required shall be determined by the Zoning Enforcement staff. The purpose of the fees shall be to ensure that the project development is completed in compliance with all project conditions, including those contained in the applicable ordinances, and is in accord with the approved site plan. The project applicant shall work with the Zoning Enforcement staff in scheduling the required monitoring dates.
23. Developer shall defend, indemnify and hold harmless the county or its agents, officers and employees from any claim, action or proceeding against the county or its agents, officers or employees, to attack, set aside, void or annul, in whole or in part, the county's approval of the development plan. In the event that the county fails promptly to notify the subdivider of any such claim, action or proceeding, or that the county fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.
24. Prior to grading and construction of each phase of the development, the applicant and/or developer shall conduct an on-site construction coordination meeting at the building site for the purpose of coordinating the implementation of each project condition relating to project construction. These meetings shall include representatives of the applicant, construction contractors and county staff from the Departments of Resource Management, Public Works Building Division, and other departments identified by RMD as appropriate.
25. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the Planning Commission, and no approval shall be issued unless substitute feasible mitigation measures are imposed.

All final RMD conditions of approval of this project shall be printed on the building plans. These shall be in the form of a photocopy of the final action letter of the decision maker (preferably printed as a separate numbered sheet) submitted to Resource Management Department and the Building and Safety Division of Public Works Department for all applications on the subject property.

- III. This permit is issued pursuant to the provisions of Section 35-315 of Article III of the Code of Santa Barbara County and is subject to the foregoing conditions and limitations; and this permit is further governed by the following provisions:

Attachment 2

- a. If any of the conditions of the conditional use permit are not complied with, the Planning Commission, after written notice to the permittee and a noticed public hearing, may, in addition to revoking the permit, amend, alter, delete or add conditions to this permit at a subsequent public hearing noticed for such action.
- b. A conditional use permit shall become null and void and automatically revoked if the use permitted by the conditional use permit is discontinued for more than one year.
- c. All time limits imposed may be extended by the Planning Commission one time for good cause shown, provided a written request, including a statement of reasons for the time limit extension request, is filed with the Resource Management Department prior to the expiration date.


Albert J. McCurdy, Secretary

DATE *Approved Feb-8, 1990*

xc: Minute Book (original copy)
Case File: 84-CP-65(MD)
Permanent File
Fire Department
Flood Control
Park Department
Public Works
Environmental Health Services
Environmental Review Division
APCD
Zoning Enforcement
Deputy County Counsel
County Surveyor
Owner: Ray Thomas, Flying Flags, Ltd., P.O. Box 2100, Santa Barbara,
CA 93120
Planner: B. Christensen

Attachment: - Conditional Use Permit
- Exhibit A

AJM:WT:d1 #3

Attachment 3

PLANNING COMMISSION RESOLUTION 96-01

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF BUELLTON
APPROVING FINAL DEVELOPMENT PLAN 95-DPF-06 FOR
THE PHASED EXPANSION OF A RECREATIONAL VEHICLE PARK LOCATED
AT 180 AVENUE OF FLAGS (FLYING FLAGS TRAVEL PARK)

I. THE PLANNING COMMISSION OF THE CITY OF BUELLTON DOES HEREBY
FIND AND DETERMINE AS FOLLOWS:

WHEREAS, The City of Buellton has received an application from Ray Thomas, Flying
Flags, Ltd., for Final Development Plan 95-DPF-06 to allow the phased expansion of a
recreational vehicle park at 180 Avenue of Flags.

WHEREAS, The Planning Commission of the City of Buellton held a public hearing on
January 4th, 1996 to consider the request.

WHEREAS, A Draft Negative Declaration was prepared for the original project approval
in 1986 pursuant to the California Environmental Quality Act (CEQA) and circulated for public
review.

WHEREAS, The Draft Negative Declaration was recirculated for additional public review
to allow the public an opportunity to review and comment on the adequacy of the environmental
document.

WHEREAS, the environmental circumstances surrounding the project have not changed
substantially and adverse impacts are mitigated to the maximum extent feasible by Draft Negative
Declaration 85-ND-69. No additional environmental review is required pursuant to Section 15162
of the State CEQA Guidelines.

WHEREAS, Based on the staff analysis, oral and written testimony, and the Negative
Declaration, the Planning Commission finds, after due study, deliberation, and public hearing, the
following circumstances exist:

1. The site for the project is adequate in size, shape, location, and physical characteristics to accommodate the density and intensity of development proposed.
2. Potential adverse impacts are mitigated to the maximum extent feasible.
3. The streets and highways are adequate and properly designed.
4. There are adequate public services, including but not limited to, fire protection, water supply, sewage disposal, and police protection to serve the project.

Attachment 3

Planning Commission
Resolution 96-01

5. The project will not be detrimental to the health, safety, comfort, convenience, and general welfare of the neighborhood and will not be incompatible with the surrounding areas.
6. The project is in conformance with the applicable provisions of the Zoning Ordinance and the General Plan.
7. The project will not conflict with any easements required for public access through, or public use of a portion of the property,

II. NOW, THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CITY OF BUELLTON DOES HEREBY RESOLVE AS FOLLOWS:

- A. Based on the findings listed in Exhibit "A", Negative Declaration 85-ND-69 is hereby adopted, along with the mitigation measures and monitoring program,
- B. Based on the findings listed in Exhibit "B" the Planning Commission hereby approves Final Development Plan 95-DPP-06, subject to the conditions of approval set forth in Attachment 1.

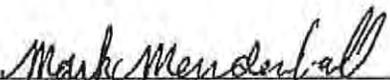
On motion of Commissioner Robinson, second by Commissioner Ward this Resolution was adopted this 4th day of January, 1996 by the following roll call vote:

AYES: Commissioners Cahill, Hendrick, Robbins, Robinson, Ward, Chairman Mendenhall

NOES: None

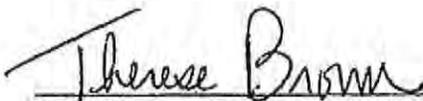
ABSENT: Commissioner Ward

ABSTAIN: None



Mark Mendenhall
Chairman of the Planning Commission

ATTEST:



Therese Brown, Secretary to the Planning Commission

Attachment 3

Planning Commission
Resolution 96-01

Exhibit "A"

Findings for Adoption of Negative Declaration 85-ND-69

1. A Negative Declaration (85-ND-69) on environmental impact was prepared and circulated for 20 days in accordance with the California Environmental Quality Act (CEQA) and related Guidelines.
2. The Draft Negative Declaration was recirculated for an additional 20 days to allow the public the opportunity to comment on the adequacy of the Negative Declaration.
3. The Negative Declaration was prepared in compliance with CEQA and associated Guidelines.
4. Adverse impacts are mitigated to the maximum extent feasible by the mitigation measures described in Negative Declaration 85-ND-69, and no additional environmental review is required pursuant to Section 15162 of the State CEQA Guidelines.
5. The design of the project was considered by the Planning Commission who concluded that the project will not result in any significant adverse impacts on the environment.
6. Negative Declaration 85-ND-69 represents the independent judgement of the Commission, and the Commission has independently reviewed and analyzed the information contained in the Negative Declaration.
7. The project will have no adverse impacts on resources governed by the State Department of Fish and Game. (*de minimus* finding)
8. The Planning Commission hereby adopts Negative Declaration 85-ND-69, associated mitigation measures and monitoring program.
9. The Commission hereby directs that a Notice of Determination be filed with the County Clerk.

Attachment 3

Planning Commission
Resolution 96-01

Exhibit "B"

Findings for Approval of Final Development Plan 95-DPF-06

1. The site for the project is adequate in size, shape, location and physical characteristics to accommodate the type of use and intensity of development.
2. Adverse impacts are mitigated to the maximum extent feasible by the previous Negative Declaration (85-ND-69), and no additional environmental review is required pursuant to Section 15162 of the State CEQA Guidelines. The mitigation measures identified in the Negative Declaration are reaffirmed.
4. The project will not be detrimental to the health, safety and welfare of the surrounding neighborhood and will not be incompatible with the surrounding area.
5. The project is consistent with the Comprehensive Plan.

Attachment 3

Planning Commission
Resolution 96-01

Attachment 1

Conditions of Approval 95-FDP-06

1. Approval of the final development plan shall expire five (5) years after approval by the Planning Director, unless prior to the expiration date substantial physical construction has been completed on the development or the applicant has applied for a time extension. The Director may, upon good cause shown, grant a time extension for one year.
2. The size, shape, arrangement and location of walkways, parking areas, buildings, and landscaped areas shall be developed in substantial conformity with the approved development plan. Substantial conformity shall be determined by the Planning Director. In the event of a disagreement between the applicant and Director, such determination shall be made by the Planning Commission.
3. All parking area locations, design and size and the number of parking spaces shall be in accordance with all applicable provisions of Ordinance Parking Standards.
4. Prior to recordation of Tentative Parcel Map 14,012, a rest room with a minimum of one toilet, shower and lavatory for each sex shall be installed. A temporary facility meeting these standards is allowed subject to review and approval by the Planning Director. In either case, a permanent rest room facility meeting these standards shall be installed with Phase II.
5. The improvements for Phases II and III shall be completed no later than January 30, 2001. All water mains, sewer, on-site roads, service connections and seeding for grass for the remaining RV spaces shall be installed.
6. The project shall be subject to the conditions described in a letter dated 12/14/89 from the County Environmental Health Services Department.
7. The design of the garbage pickup areas shall be architecturally compatible with the overall architecture of the project.
8. All exterior lighting shall be hooded and no unobstructed beam of exterior lighting shall be directed toward any area zoned or developed residential.
9. Lighting shall be designed so as not to interfere with vehicular traffic on any portion of streets.
10. All signs shall comply with Santa Barbara County Code Chapter 35 (Sign regulations).
11. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging or rebuilding of any building, structure or improvement the applicant shall obtain zoning clearance from the City Planning Department.

Attachment 3

Planning Commission
Resolution 96-01

12. No permits for development, including grading, shall be issued except in conformance with an approved final development plan.
13. All parking areas shall be landscaped and screened in accordance with all applicable provisions of the Buellton Zoning Ordinance, unless replaced with specific landscape and screening conditions.
14. Prior to zoning clearance, the applicant shall file with the City a tree protection plan indicating the trunk location and tree canopy line of all mature native trees. A qualified botanist, horticulturalist or approved tree specialist shall develop a site specific program providing protection during grading, construction and recuperation periods.
15. All trees to be saved on-site shall be fenced at a distance of 10 feet from the dripline.
16. Since construction equipment can generate 90 dBA of sound at 50 feet and residences are nearby, all construction activities, including the warming of construction vehicle engines, shall be limited to weekdays only between the hours of 7 A.M. to 5 P.M.
17. The recreational vehicle development shall be approved by the State Department of Housing and Community Development, Division of Building and Housing Standards prior to zoning clearance.
18. Occupancy of each RV space shall not exceed a 60-day stay unless the local school district and the applicant have entered into a binding agreement, satisfactory to both parties, to mitigate potential impacts on school capacity. This condition shall have been satisfied upon presentation of such agreement to the City prior to zoning clearance. In the event such agreement is made, in lieu of the 60-day stay limit, a 6-month stay limit shall then become effective. Regardless of such agreement with the local school district, at least 50 (50%) percent of the recreational vehicle spaces shall be limited to transient use in which occupancy shall not exceed 60 days in any calendar year.
19. Owner shall submit semi-annual reports on park occupancy for review by the City Planning Department in a form approved by the City as long as the 60-day stay limit is in effect. Upon implementation of a 6-month stay limit, a report of occupancy for those spaces shall be made annually. All such reports shall include analysis of length of stay on the premises, the reports shall be reviewed by the Planning Director to determine if the facilities continue to retain characteristics of an RV park. If the Director determines that the park no longer retains the characteristics of an RV park, he/she shall refer the matter to the City Planning Commission who may impose additional conditions to assure those characteristics.
20. Prior to building permit issuance, the project shall pay all applicable fees due the City.
21. Dust control methods shall be utilized on demolition or any other dust-producing activities in compliance with Air Pollution Control District (APCD) standards.

Attachment 3

Planning Commission
Resolution 96-01

22. All final conditions of approval of this project shall be printed on the building plan. These shall be in the form of a photocopy of the final action letter of the decision maker (preferably printed as a separate numbered sheet).
23. Measures to control erosion during construction shall be incorporated into the grading plans, and shall be subject to review and approval by the City Engineer.
24. Faithful performance and labor and material bonds (each to be 100% of the City Engineer's Estimate) shall be posted with the City to cover all public improvements and onsite grading, prior to the issuance of building permit.
25. The applicant shall obtain the necessary engineering permits for grading, street construction and excavation, as needed.
26. Prior to issuance of building permits, the applicant shall submit a soils report, prepared by a registered geologist or qualified civil engineer, concerning soil conditions for grading, footing and foundation construction.
27. All public improvements shall be constructed in conformance with Santa Barbara County, and City of Buellton standards.
28. The applicant shall comply with all standard Fire Department conditions.
29. The following note shall be placed on the construction plans:

If unanticipated archaeological remains are encountered during construction, activity shall be temporarily suspended until a qualified archaeologist can assess the significance of the resource. If necessary, the archaeologist shall recommend mitigation measures to protect the resources. The developer shall implement the mitigation measures, subject to review and approval of the City Planning Department.



GENERAL INFORMATION

PROJECT NO. 13-10-190
SHEET NO. CE-01
FILE NO. 13-10-190

CONTACT INFORMATION

PROJECT OWNER: CITY OF BUELLTON
PROJECT MANAGER: J. S. J. GOLDSTIEN
PROJECT ADDRESS: 180 AVENUE OF FLAGS, BUELLTON, CA 93427

GENERAL INFORMATION

PROJECT NO. 13-10-190
SHEET NO. CE-01
FILE NO. 13-10-190

CONTACT INFORMATION

PROJECT OWNER: CITY OF BUELLTON
PROJECT MANAGER: J. S. J. GOLDSTIEN
PROJECT ADDRESS: 180 AVENUE OF FLAGS, BUELLTON, CA 93427

PROJECT SHEET INDEX

CE-01	THE SHEET
CE-02	GENERAL NOTES
CE-03	GENERAL NOTES
CE-04	GENERAL NOTES
CE-05	GENERAL NOTES
CE-06	GENERAL NOTES
CE-07	GENERAL NOTES

PRELIMINARY EARTHWORK QUANTITIES

ITEM	QUANTITY
EXCAVATION	1,234 CU YD
FILL	567 CU YD
GRAVEL	123 CU YD
ASPHALT	456 CU YD

TOPOGRAPHIC INFORMATION

VERTICAL DATUM: NGVD 83
HORIZONTAL DATUM: NAD 83
SCALE: 1" = 40'

CAUTION:
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GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BUELLTON AND THE COUNTY OF SANTA BARBARA.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
- ALL MATERIALS SHALL BE STORED AND HANDLED IN ACCORDANCE WITH LOCAL ORDINANCES.
- THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BUELLTON AND THE COUNTY OF SANTA BARBARA.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
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GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BUELLTON AND THE COUNTY OF SANTA BARBARA.
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FOR PLAN CHECK ONLY

DRAWN BY: J.S.J. DATE: 24 JAN 2014
SCALE: CITY OF BUELLTON, CALIFORNIA
APPROVED: SID GOLDSTIEN AS SHOWN
CITY ENGINEER: J.S.J. (Expires: 6-30-14)

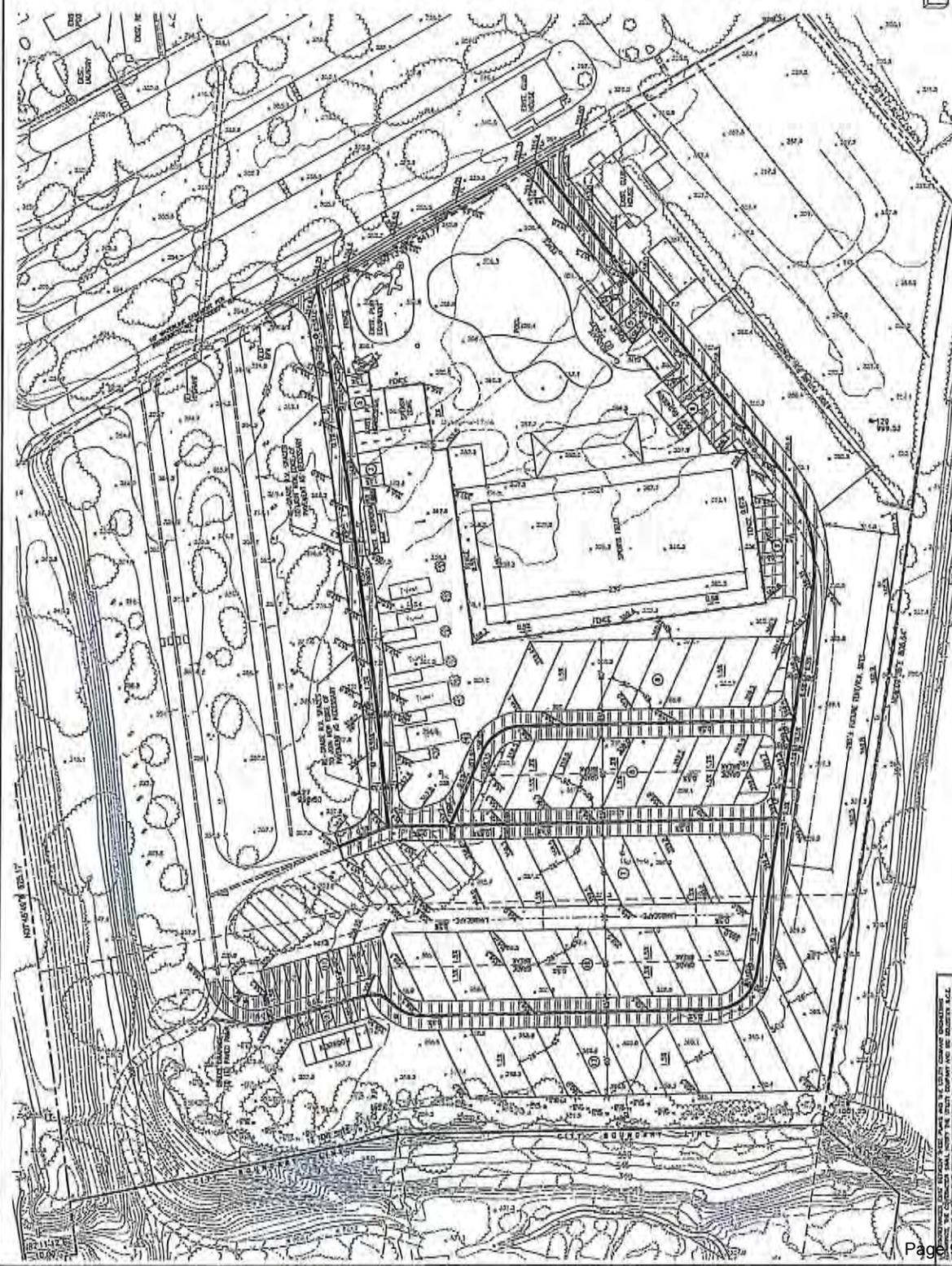
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SCALE: CITY OF BUELLTON, CALIFORNIA
APPROVED: SID GOLDSTIEN AS SHOWN
CITY ENGINEER: J.S.J. (Expires: 6-30-14)

SID GOLDSTIEN - CIVIL ENGINEER, INC.
PLANNING - DESIGN - STUDIES - RESIDENTIAL/COMMERCIAL DEVELOPMENT
180 AVENUE OF FLAGS, SUITE 200, BUELLTON, CA 93427
PHONE: (805) 438-1234 FAX: (805) 438-1234
WWW.SIDGOLDSTIEN.COM

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CONSTRUCTION NOTES:
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BUELLTON STANDARD SPECIFICATIONS AND STANDARD DETAILS. THE STANDARD SPECIFICATIONS SHALL BE THE BASIS FOR ALL CONSTRUCTION. THE STANDARD DETAILS SHALL BE THE BASIS FOR ALL CONSTRUCTION. THE STANDARD SPECIFICATIONS SHALL BE THE BASIS FOR ALL CONSTRUCTION. THE STANDARD DETAILS SHALL BE THE BASIS FOR ALL CONSTRUCTION.

DUST CONTROL NOTES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DUST CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN DUST LEVELS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN DUST LEVELS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN DUST LEVELS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN DUST LEVELS AT ALL TIMES.

EROSION CONTROL NOTES:
 THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES.



FOR PLAN CHECK ONLY
SITE CRADING PLAN
FLYING FLAGS R.V. RESORT
180 AVENUE OF FLAGS
BUELLTON, CA. 93427
A.P.N. 137-200-085

SHEET NO. **CE-02**
 FILE NO. **13-10-100**

CITY OF BUELLTON, CALIFORNIA
 APPROVED: _____
 CITY ENGINEER

SCALE: **1" = 40'**
 DATE: **24 JAN 2014**
 DESIGNER: **S.J.G.**

DRAWN BY: **J.S.C.**
 PROJECT NO. **137-200-085**

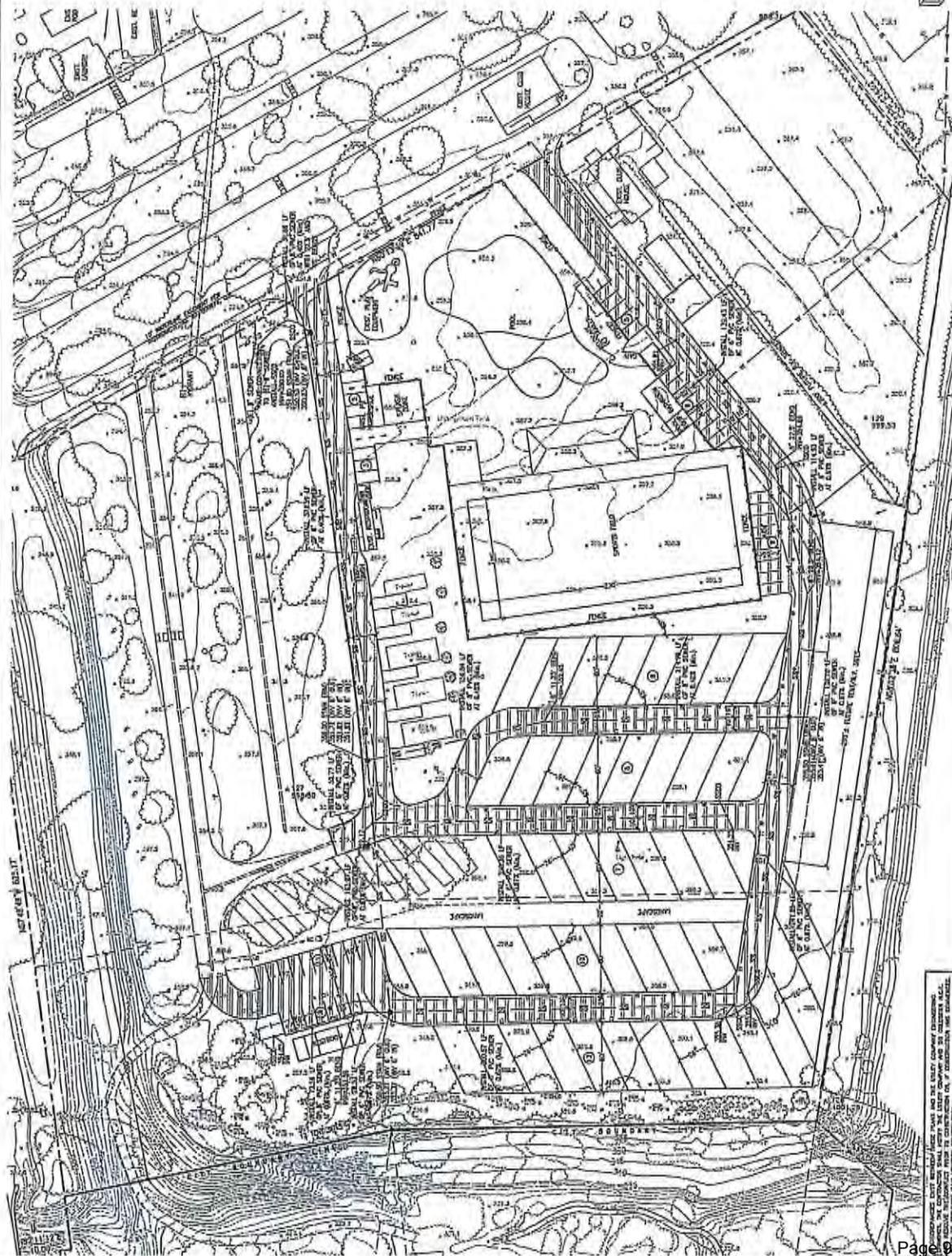
SID GOLDSTIEN - CIVIL ENGINEER, INC.
 PLANNING • DESIGN • SURVEY • LANDSCAPE ARCHITECTURE
 180 AVENUE OF FLAGS
 BUELLTON, CA 93427
 TEL: (805) 484-1553
 FAX: (805) 484-1553
 WWW.SIDGOLDSTIEN.COM

DATE:	REVISIONS:

CAUTION:
 UNDESIGNED VEHICLES EXIST. CONTACT
 UNDERGROUND SERVICES AUTHORITY (USA)
 PRIOR TO ANY CONSTRUCTION OR GRADING
 WORK. ANY DISTURBANCE OF UNDERGROUND
 UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.



1. SEWER MAINS SHALL BE CONSTRUCTED PER CITY OF BUELLTON STANDARD SPECIFICATIONS AND SHALL BE CONSTRUCTED TO A MINIMUM OF 48" DIAMETER.
2. SEWER MAINS SHALL BE CONSTRUCTED TO A MINIMUM OF 48" DIAMETER.
3. SEWER MAINS SHALL BE CONSTRUCTED TO A MINIMUM OF 48" DIAMETER.
4. SEWER MAINS SHALL BE CONSTRUCTED TO A MINIMUM OF 48" DIAMETER.



FOR PLAN CHECK ONLY
SEWER PLAN

SHEET NO. **CE-03**
FILE NO. **13-10-100**
PROJECT: **FLYING FLAGS R.V. RESORT**
180 AVENUE OF FLAGS
BUELLTON, CA 93427
A.P.N. 137-200-085

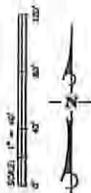
CITY OF BUELLTON, CALIFORNIA
APPROVE: _____
DATE: _____
CITY ENGINEER

SCALE: **1" = 40'**
DATE: **24 JAN 2014**
DRAWN BY: **SID GOLDSTIEN**
DESIGNER: **S.I.G.**

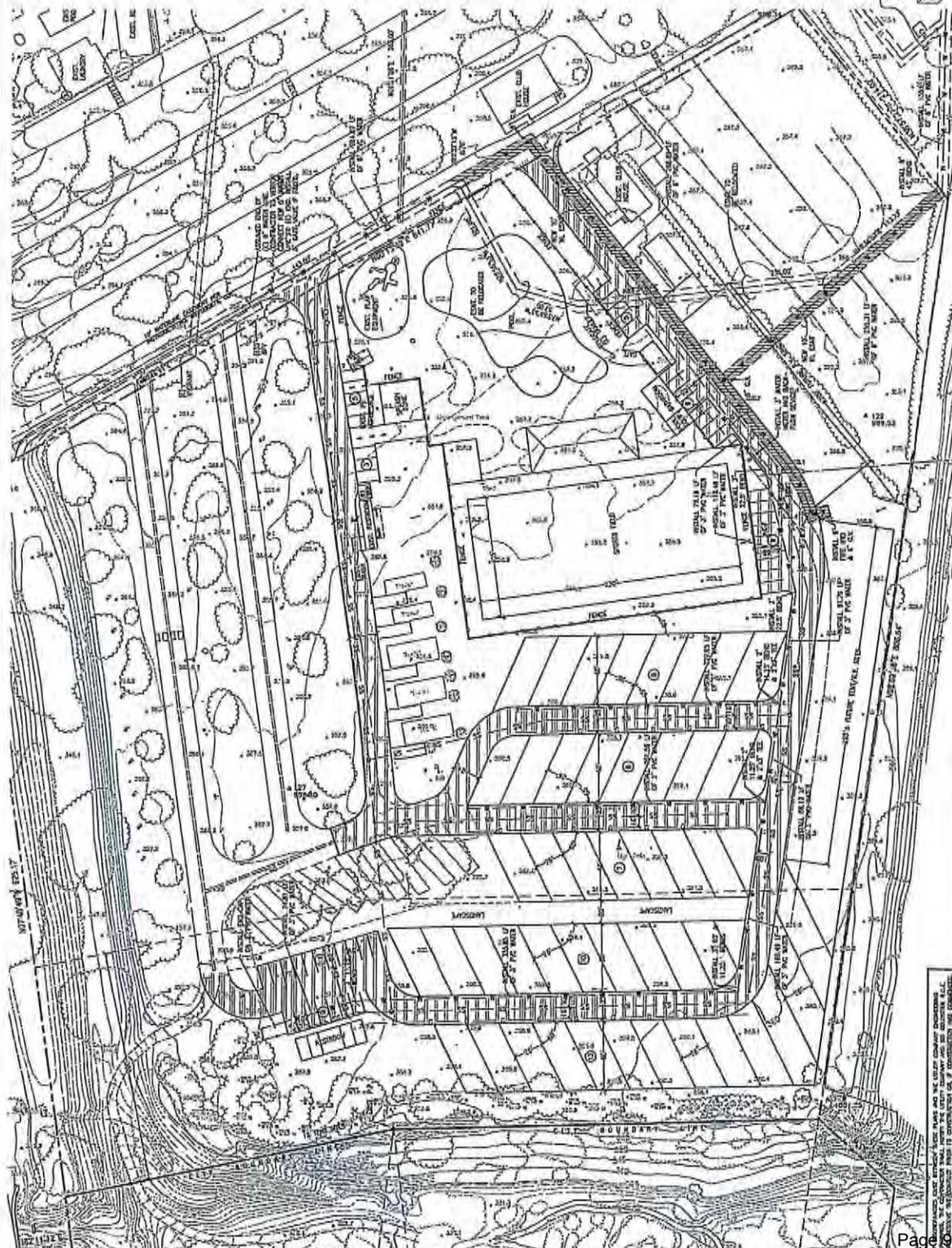
SID GOLDSTIEN - CIVIL ENGINEER, INC.
PLANNING • DESIGN • SURVEY • RESIDENTIAL/COMMERCIAL DEVELOPMENT
3011 2ND STREET, SUITE 100
SEASIDE, CA 94061
TEL: (415) 882-1033
WWW.SIDGOLDSTIEN.COM

NO.	DATE	REVISIONS

CAUTION:
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REVISIONS TO THIS PLAN SHALL BE INDICATED BY A CIRCLED NUMBER IN THE MARGINS.
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1. THE PROPOSED TO BE INSTALLED PER CITY OF BUELLTON STANDARD DETAIL, SHAL, SHAL 4.
2. THE CITY OF BUELLTON SHALL BE RESPONSIBLE FOR THE INSTALLATION PER CITY OF BUELLTON STANDARD DETAIL, SHAL, SHAL 4 (SEE PLAN).
3. THE WATER MAIN AND SPOOLS SHALL BE INSTALLED PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4 (SEE PLAN).
4. SPOOLS SHALL BE INSTALLED PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4 (SEE PLAN).
5. ALL WATER MAINS AND FITS SHALL BE CONSTRUCTED WITH CONCRETE DETAIL PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4.
6. THE WATER MAIN SHALL BE INSTALLED PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4.
7. THE CITY OF BUELLTON SHALL BE RESPONSIBLE FOR THE INSTALLATION PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4 (SEE PLAN).
8. THE CITY OF BUELLTON SHALL BE RESPONSIBLE FOR THE INSTALLATION PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4 (SEE PLAN).
9. THE CITY OF BUELLTON SHALL BE RESPONSIBLE FOR THE INSTALLATION PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4 (SEE PLAN).
10. THE CITY OF BUELLTON SHALL BE RESPONSIBLE FOR THE INSTALLATION PER CITY OF BUELLTON STANDARD DETAIL, SHAL 4 (SEE PLAN).



FOR PLAN CHECK ONLY
WATER PLAN

FLYING FLAGS R.V. RESORT
180 AVENUE OF FLAGS
BUELLTON, CA. 93427
A.P.N. 137-200-085

CITY OF BUELLTON, CALIFORNIA
APPROVED: _____
DATE: _____

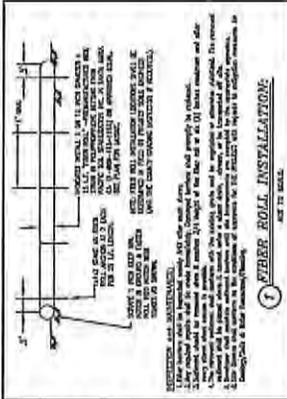
DESIGNED BY: J.S.C.
CHECKED BY: S.J.C.

DATE: 24 JAN 2014
SCALE: 1" = 40'

SID GOLDSTIEN - CIVIL ENGINEER, INC.
PLANNING & DESIGN • SITEWORK • RESIDENTIAL/COMMERCIAL DEVELOPMENT
2000 W. PLYMOUTH ROAD
SALVEMO, CA 94161
TEL: (415) 482-2333
FAX: (415) 482-2333

NO.	REVISIONS

CAUTION:
UNDERSTAND THESE ARE CONCEPT DRAWINGS.
FOR INFORMATION ONLY. NOT TO BE USED FOR CONSTRUCTION.
FOR ANY OTHER PURPOSES, CONTACT THE ENGINEER.
SID GOLDSTIEN - CIVIL ENGINEER, INC.
2000 W. PLYMOUTH ROAD
SALVEMO, CA 94161
TEL: (415) 482-2333
FAX: (415) 482-2333



DUST CONTROL MEASURES:
 All activities shall be conducted in a manner that minimizes dust emissions. Dust control measures shall include, but not be limited to, the following:
 1. Water spraying of haul roads and stockpiles.
 2. Windbreaks and dust curtains.
 3. Enclosed transport for materials.
 4. Regular maintenance of equipment.
 5. Prohibition of idling equipment.
 6. Prohibition of burning or welding.
 7. Prohibition of open burning of waste.
 8. Prohibition of open burning of tires.
 9. Prohibition of open burning of oil.
 10. Prohibition of open burning of paint.

EROSION CONTROL NOTES - (AS APPLICABLE)
 1. All erosion control measures shall be installed and maintained in accordance with the specifications and standards of the City of Buelton.
 2. Erosion control measures shall be installed prior to the start of any earthmoving activity.
 3. Erosion control measures shall be maintained throughout the duration of the project.
 4. Erosion control measures shall be removed only after the project is completed and the site is stabilized.
 5. Erosion control measures shall be replaced if they become damaged or ineffective.



FOR PLAN CHECK ONLY
EROSION CONTROL PLAN
 FLYING FLAGS R.V. RESORT
 180 AVENUE OF FLAGS
 BUELTION, CA. 93427
 A.P.N. 197-200-085

SHEET NO.	CE-07
FILE NO.	13-10-100
DATE	
APPROVER	SIDT. BUSHNER
CITY OF BUELTION, CALIFORNIA	

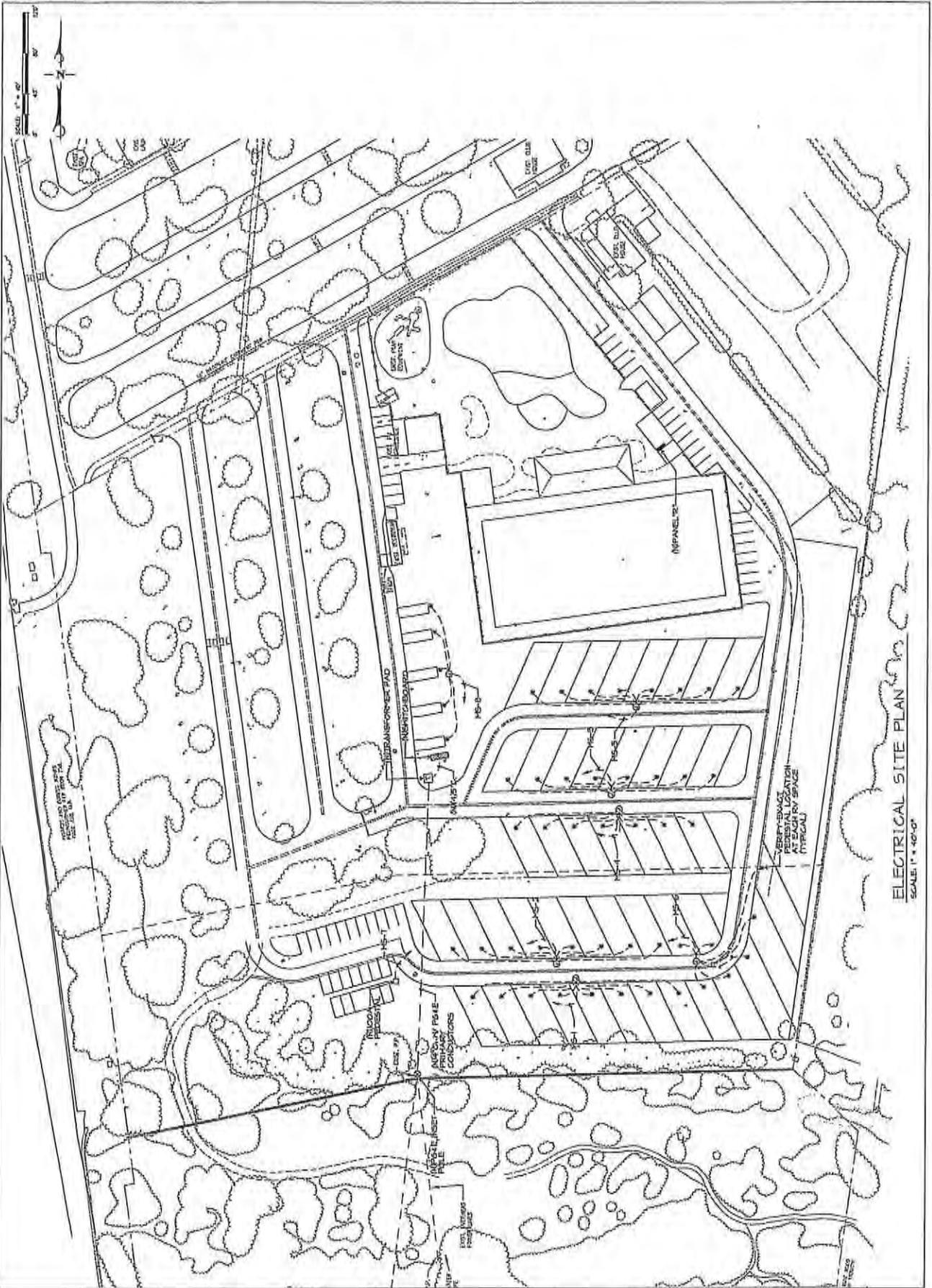
DATE:	24 JAN 2014
DESIGNER:	SID GOLDSTIEN
SCALE:	1" = 40'
PROJECT:	EROSION CONTROL PLAN

DRAWN BY:	J.S.G.
DESIGNER:	S.J.G.
DATE:	24 JAN 2014
SCALE:	1" = 40'
PROJECT:	EROSION CONTROL PLAN

DATE:		REVISIONS:	

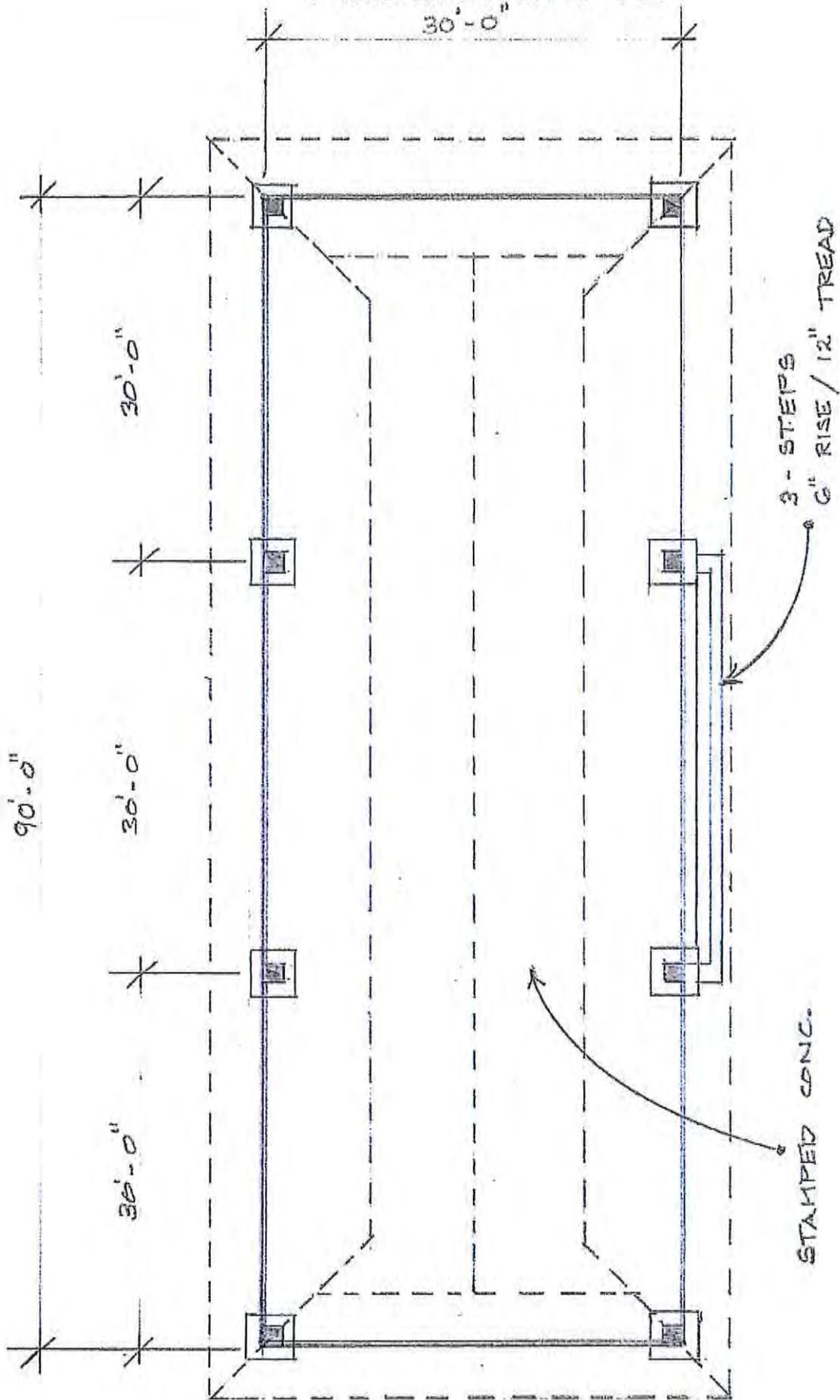
Page 106 of 348

	INPE INDEPENDENT PROFESSIONAL ENGINEERS 1840X AVENUE OF THE FLAGS BUELLTON, CA.	ELECTRICAL SITE PLAN FLYING FLAGS RESORT PHASE 3 1840X AVENUE OF THE FLAGS BUELLTON, CA.	SHEET NO. E-2 DATE: 05/20/14 DRAWN BY: [blank] CHECKED BY: [blank]
	PROJECT NO. [blank] DATE: [blank]		OF [blank] SHEETS
	REVISIONS TO: [blank]		BY: [blank]
	DATE: [blank]		BY: [blank]



Attachment 12

1

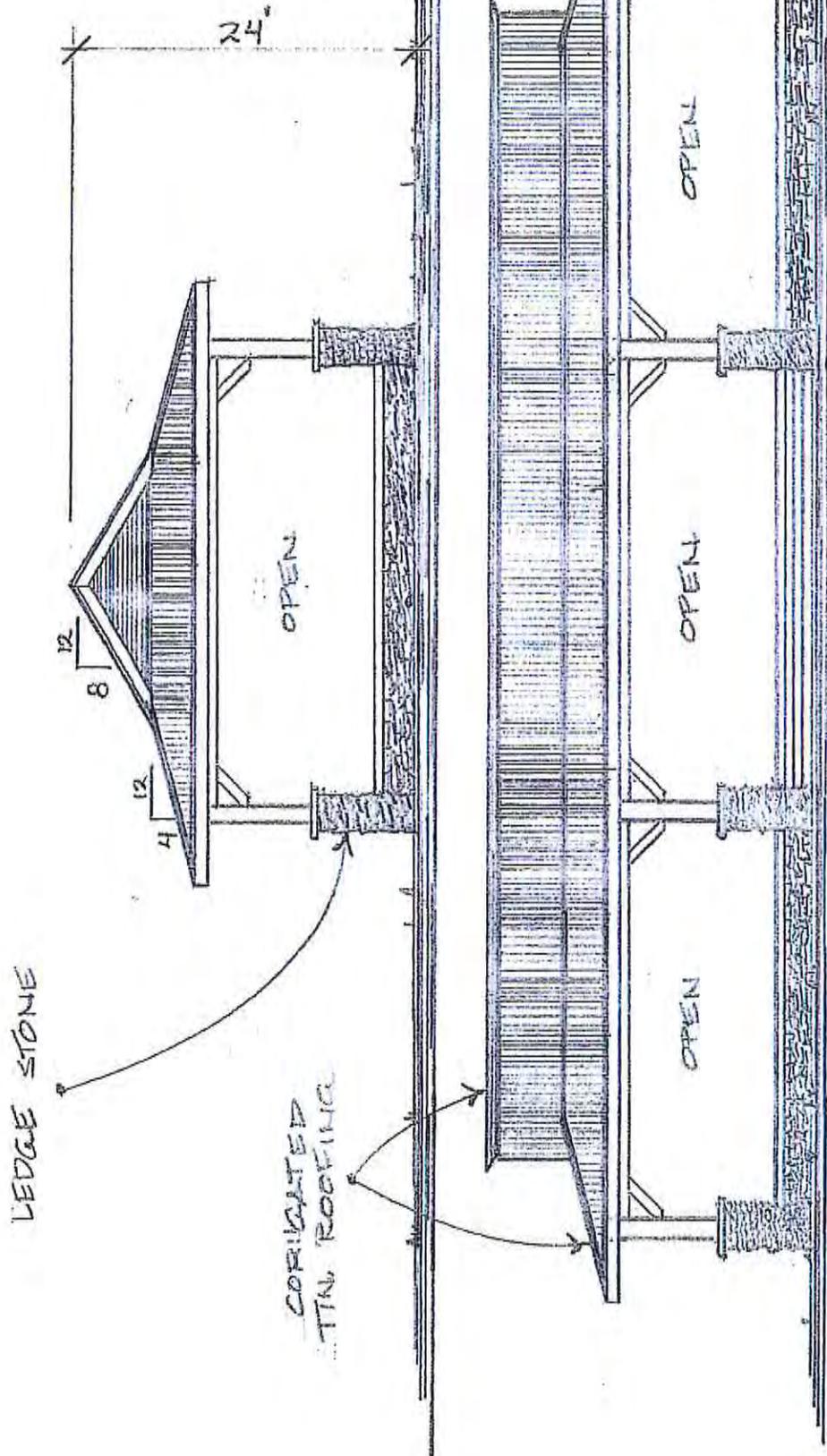


POOL PAVILLION PLAN

SCALE 3/32" = 1'-0"

Attachment 12

2

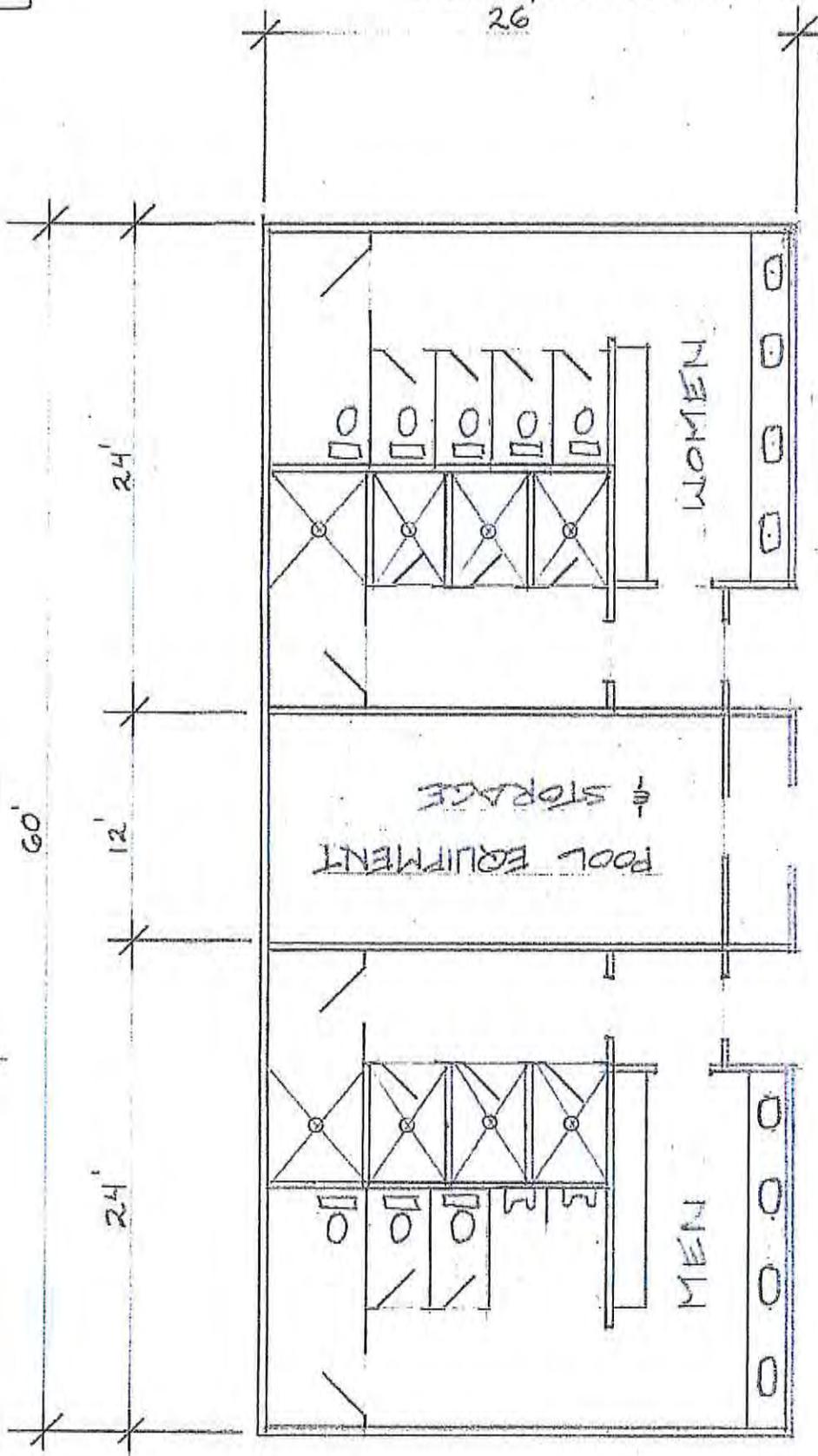


POOL PAVILLION ELEVATIONS

SCALE: $\frac{3}{32} = 1-0"$

3

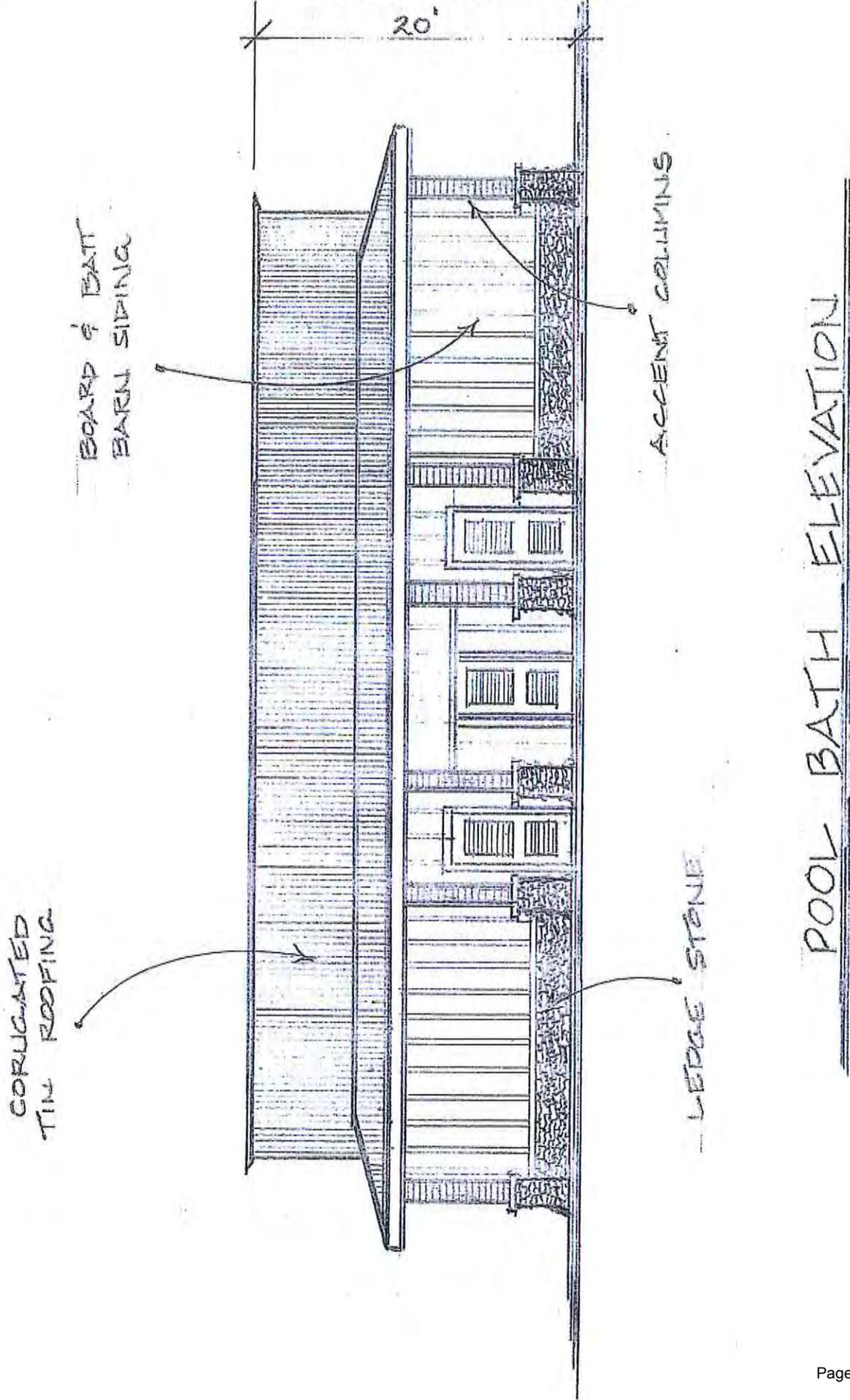
Attachment 13



POOL BATHROOMS

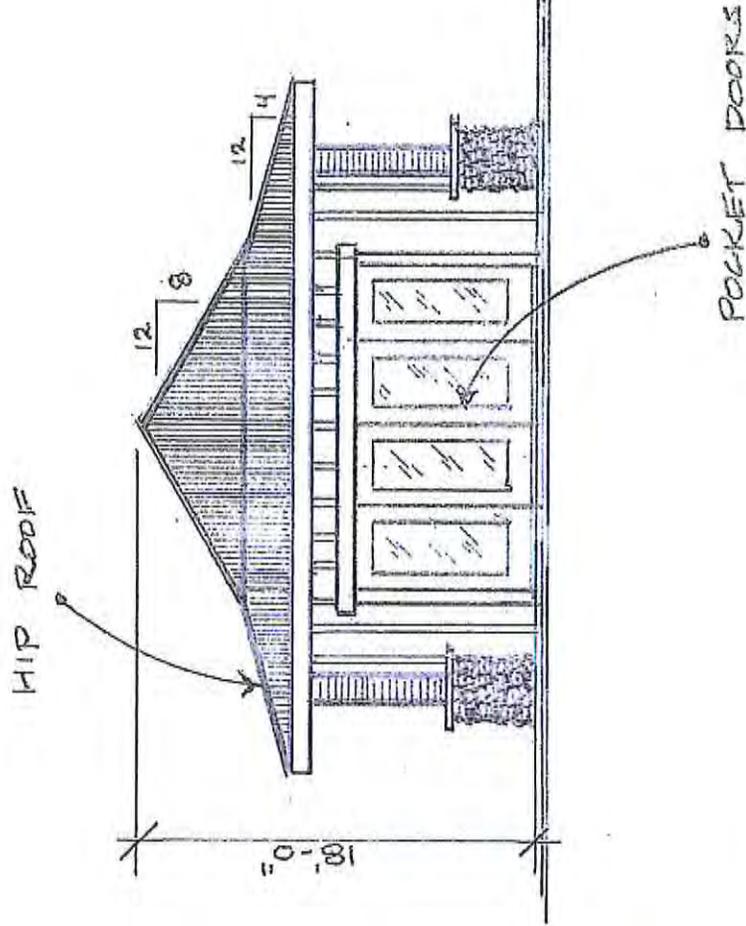
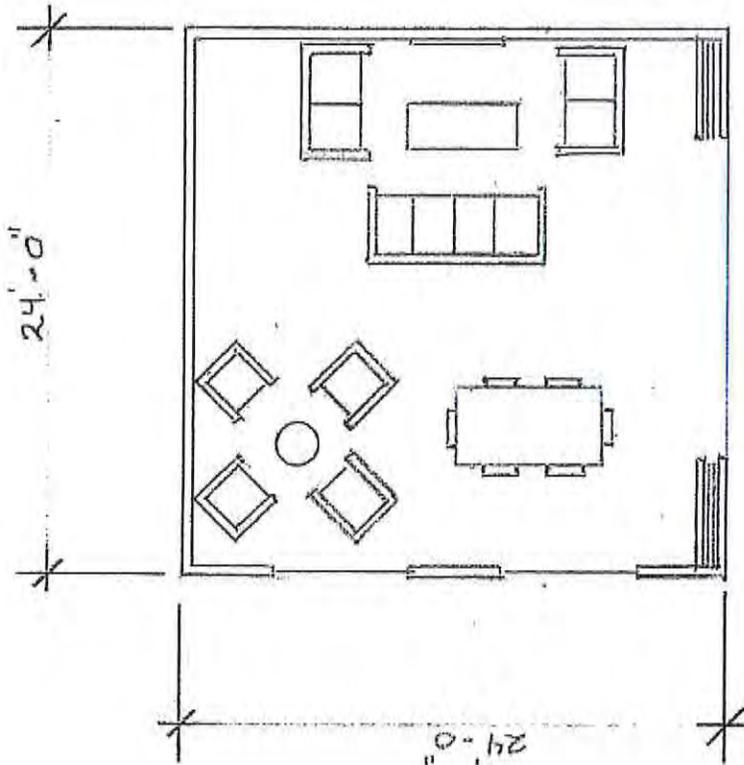
SCALE: 1/8" = 1'-0"

Attachment 13



SCALE: 1/8" = 1'-0"

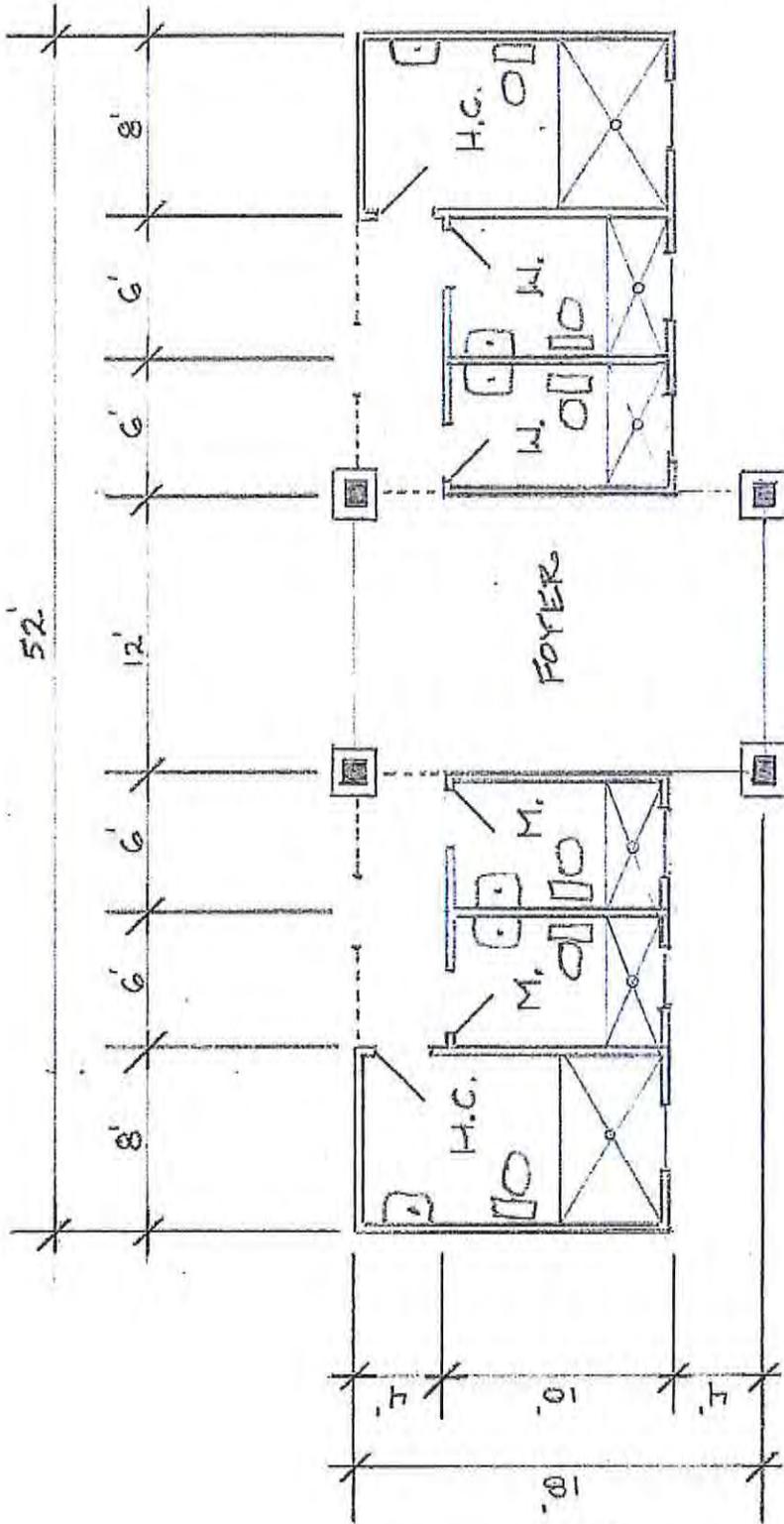
Attachment 14



NOTE: ALL MATERIALS TO
MATCH POOL BATH

POOL LOUNGE

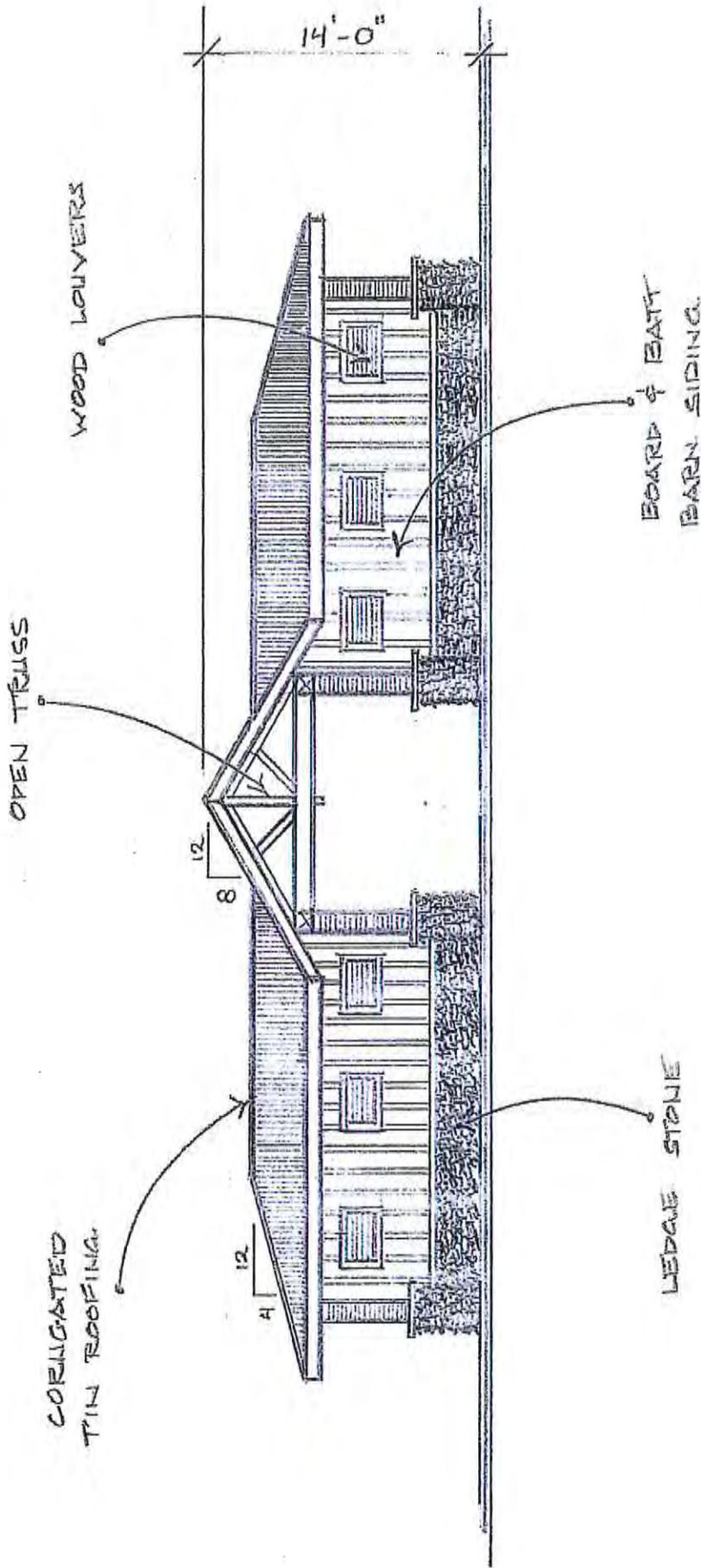
SCALE: 1/8" = 1'-0"



TENT BATHROOMS

SCALE: 1/8" = 1'-0"

Attachment 15



TENT BATH ELEVATION

SCALE: 1/8" = 1'-0"

Attachment 17

Draft
**Negative Declaration
For the
Flying Flags RV Resort
Time Extension**

Prepared for:
City of Buellton
107 West Highway 246
Buellton, California 93427



Prepared by:
City of Buellton
107 West Highway 246
Buellton, California 93427

February 27, 2014

TABLE OF CONTENTS

	Page
Introduction	
Legal Authority	1
Impact Analysis and Significance Classification.....	1
Initial Study	
Project Title.....	2
Lead Agency and Contact Person	2
Project Applicant	2
Project Site Characteristics	2
Project Description.....	2
Public Agencies Whose Approval May Be Required For Subsequent Actions	3
References.....	3
Environmental Determination.....	4
Evaluation of Environmental Impacts	5
Aesthetics	6
Agricultural Resources.....	6
Air Quality	7
Biological Resources	7
Cultural Resources	8
Geology and Soils	9
Hazards and Hazardous Materials	10
Hydrology and Water Quality.....	11
Land Use and Planning	13
Mineral Resources	17
Noise	17
Population and Housing.....	18
Public Services.....	18
Recreation	19
Transportation/Traffic.....	19
Utilities and Service Systems.....	20
Mandatory Findings of Significance.....	21
Figures	
Figure 1 Vicinity Map.....
Figure 2 Title Sheet.....
Figure 3 Site Grading Plan.....
Figure 4 Sewer Plan
Figure 5 Water Plan
Figure 6 Road Plan.....
Figure 7 Details.....
Figure 8 Erosion Control Plan

INTRODUCTION

LEGAL AUTHORITY

This Initial Study/Negative Declaration (IS/ND) has been prepared in accordance with the *CEQA Guidelines* and relevant provisions of the California Environmental Quality Act (CEQA) of 1970, as amended.

Initial Study. Section 15063(c) of the *CEQA Guidelines* defines an Initial Study as the proper preliminary method of analyzing the potential environmental consequences of a project. The purposes of an Initial Study are:

- (1) To provide the Lead Agency with the necessary information to decide whether to prepare an Environmental Impact Report (EIR) or a Negative Declaration;
- (2) To enable the Lead Agency to modify a project, mitigating adverse impacts, thus avoiding the need to prepare an EIR; and
- (3) To provide sufficient technical analysis of the environmental effects of a project to permit a judgment based on the record as a whole, that the environmental effects of a project have been adequately mitigated.

IMPACT ANALYSIS AND SIGNIFICANCE CLASSIFICATION

The following sections of this IS/ND provide discussions of the possible environmental effects of the proposed project for specific issue areas that have been identified in the CEQA Initial Study Checklist. For each issue area, potential effects are isolated.

A "significant effect" is defined by Section 15382 of the *CEQA Guidelines* as "a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by a project, including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance." According to the *CEQA Guidelines*, "an economic or social change by itself shall not be considered a significant effect on the environment, but may be considered in determining whether the physical change is significant."

INITIAL STUDY

PROJECT TITLE

Flying Flags RV Resort Time Extension

LEAD AGENCY and CONTACT PERSON

City of Buellton Planning Department
P.O. Box 1819
Buellton, CA 93427
Contact: Angela Poroz, Assistant Planner
(805) 688-7474

PROJECT APPLICANT

Applicant:
Dan Baumann, Flying Flags RV Resort
180 Avenue of Flags
Buellton, CA 93427

Owner:
Michael B. Earl, FPA Flying Flags Associates, L.P.
4685 MacArthur Court, #400
Newport Beach, CA 92660

PROJECT SITE CHARACTERISTICS

Location and Surrounding Land Uses: The project site is located at 180 Avenue of Flags, Assessor's Parcel Number 137-200-085 (Figure 1). The site is 14.05 acres in size. The majority of the property is vacant. The Flying Flags RV Resort is on the adjacent property (APN 137-200-86). Currently there are some camp sites, a restroom building, play equipment, and three roads on the property where the expansion is proposed. To the north is the existing Flying Flags RV Resort. To the south is vacant property and the Santa Ynez River. To the west are single family residences in a PRD zone. To the east is Highway 101.

Existing General Plan Designation (Land Use Category): General Plan Designation of General Commercial with a zoning designation of CR (General Commercial).

PROJECT DESCRIPTION

Prior to City incorporation, the County of Santa Barbara approved a Conditional Use Permit (84-CP-65) for the expansion of the Flying Flags RV Resort. The approval included camp sites, additions to existing facilities, new facilities (clubhouse, showers, pool, recreational area and lighted tennis courts), and space for RV storage. The expansion was not completed. The City Council approved a Time Extension for the Conditional Use Permit in 1993.

In 1996 the Planning Commission approved a Final Development Plan (95-FDP-06) for an expansion of the Flying Flags RV Resort. The approved expansion was the same as the approved project in the Conditional Use Permit (84-CP-65). This Time Extension is for the Final Development Plan (95-FDP-06). The current project is basically the same as the previously

City of Buellton

approved project, with one exception. The approved Conditional Use Permit included lighted tennis courts. The proposed project includes a recreational area with sports fields, but lighted tennis courts are not proposed. The site currently contains some camp sites and RV storage and it is adjacent to the existing Flying Flags RV Resort.

Reduced copies of the current project plans are attached as Figures 2 through 8.

PUBLIC AGENCIES WHOSE APPROVAL MAY BE REQUIRED FOR SUBSEQUENT ACTIONS (e.g. permits, financing approval, or participation agreement):

None

REFERENCES

This Initial Study was prepared using the following information sources:

- Application Materials;
- Field Reconnaissance;
- Buellton General Plan;
- Buellton Municipal Code;
- Buellton Zoning Ordinance;
- General Plan EIR;
- Departmental and Public Agency Consultations

ENVIRONMENTAL DETERMINATION

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

<input type="checkbox"/> Aesthetics	<input type="checkbox"/> Agriculture Resources	<input type="checkbox"/> Air Quality
<input type="checkbox"/> Biological Resources	<input type="checkbox"/> Cultural Resources	<input type="checkbox"/> Geology / Soils
<input type="checkbox"/> Hazards & Hazardous Materials	<input type="checkbox"/> Hydrology / Water Quality	<input type="checkbox"/> Land Use / Planning
<input type="checkbox"/> Mineral Resources	<input type="checkbox"/> Noise	<input type="checkbox"/> Population / Housing
<input type="checkbox"/> Public Services	<input type="checkbox"/> Recreation	<input type="checkbox"/> Transportation/Traffic
<input type="checkbox"/> Utilities / Service Systems		

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project **COULD** have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the applicant. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.



Marc P. Bierdzinski
Environmental Officer
City of Buellton

2-28-14
Date

EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a Lead Agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Potentially Significant Unless Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level.
- 5) Earlier analyses may be used where, pursuant to the (filing, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration, Section 15063(c)(3)(D). Earlier analyses and references are discussed at the end of the checklist.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) The analysis of each issue should identify:
 - a) the significance criteria or threshold used to evaluate each question; and
 - b) the mitigation measure identified, if any, to reduce the impact to less than significance.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
I. AESTHETICS - Would the project:				
a) Have a substantial adverse effect on a scenic vista?				X
b) Damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
c) Substantially degrade the existing visual character or quality of the site and its surroundings?			X	
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			X	

a. - b. Scenic Vistas/Resources: No roadways in the project area are designated as state or local scenic highways. No scenic aspects are associated with the property and development of the project would not block any scenic vistas from other properties. No impacts would result.

c. Visual Quality: Development of the project site would result in new buildings, camp sites, parking areas, swimming pool, sports field, roads and landscaping. The architecture of the proposed project is considered Agrarian as defined in the City's Community Design Guidelines. The impact is considered less than significant for the following reasons: the project conforms to the design requirements of the Community Design Guidelines; and this is an infill project that is expanding an existing RV Resort.

d. Light and Glare: The project plans show lighting fixtures that direct light downward to protect dark skies. In addition, the lighting fixtures conform to the requirements of the Community Design Guidelines. Therefore, lighting impacts are not considered significant.

Findings and Mitigation: No significant impacts were identified, therefore, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
II. AGRICULTURE RESOURCES - Would the project:				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to nonagricultural use?				X
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?				X

a. - c. Farmland: The site is an urban infill site and is not designated as farmland in the City's General Plan.

Findings and Mitigation: No impacts would occur, therefore, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
III. AIR QUALITY - Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a) Conflict with or obstruct implementation of the applicable Clean Air Plan?			X	
b) Violate any stationary source air quality standard or contribute to an existing or projected air quality violation?			X	
c) Result in a net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
d) Expose sensitive receptors to substantial pollutant concentrations?			X	
e) Create objectionable odors affecting a substantial number of people?			X	

a. Conflicts with Clean Air Plan: The project includes the expansion of an RV Resort, which is a permitted use on this site. With respect to trip generation and associated air contaminant emissions, the proposed project would be consistent with the General Plan EIR air quality evaluation, which assumed a similar general commercial buildout of the site. The project is consistent with the Clean Air Plan and impacts would be less than significant.

b. - c. Air Quality Standards/Criteria Pollutants: The number of vehicle trips expected with the project would be approximately 68 per day. Due to the small number of trips associated with the project, no air quality standards would be exceeded. Construction activities would consist of grading and a small number of structures and would be temporary. Therefore, dust generation and construction vehicle emissions would be negligible.

d. Sensitive Receptors: The project site is located on the east side of Avenue of Flags, south of Highway 246. The nearest sensitive receptors to the site are the existing single family residences located across Avenue of Flags, approximately 150 feet west of the site. Despite their proximity, adjacent residences would not be substantially affected by project emissions, since the project would involve only minor releases of air contaminants during construction and operations. Vehicle trips generated by the proposed project would result in air contaminant emissions along local roadways. These impacts would be less than significant.

e. Odors: The expanded restaurant/café has the potential to create odors, however these will be minimal. The impacts would be less than significant.

Findings and Mitigation: No significant impacts would occur, therefore, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
IV. BIOLOGICAL RESOURCES - Would the project:				
a) Have a substantial adverse impact, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				X

b) Have a substantial adverse impact on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				X
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of wildlife nursery sites?				X
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				X
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state habitat conservation plan?				X

a. f. The adjacent property is completely developed with an RV Resort and the project site is partially developed with components of the RV Resort. The project site has some improvements, but is otherwise vacant. It is surrounded by development and a major State highway. No natural features or habitat exists on the site. Camp sites, parking spaces and a restroom building are proposed within the City required setback from the Santa Ynez River. These types of uses are permitted within the setback. No biological impacts would occur as a result of development of this property.

Findings and Mitigation: No impacts would occur; therefore, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
<input checked="" type="checkbox"/> CULTURAL RESOURCES - Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5?				X
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?				X
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?				X
d) Disturb any human remains, including those interred outside of formal cemeteries?				X

a. **Historical Resources:** There are no significant historic resources on this property, therefore no impact would occur.

b. - c. **Archaeological/Paleontological Resources:** A small portion of the project site is developed and the Flying Flags RV Resort on the adjacent property has been there for many years. Any artifacts located on this property would have been removed or destroyed when development originally occurred. Therefore, the potential for further discoveries is extremely unlikely due to the disturbed nature of the site. No impacts are anticipated.

d. **Human Remains:** Since no known cemetery uses are located on or adjacent to the site, the proposed project would result in no impacts to human remains.

Findings and Mitigation: No impacts would occur; therefore, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
VI. GEOLOGY AND SOILS - Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?				X
ii) Strong seismic ground shaking?			X	
iii) inundation by seiche, tsunami, or mudflow?				X
iv) Landslides?				X
b) Result in substantial soil erosion or the loss of topsoil?			X	
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?				X
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?				X
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X

The following analysis of geological resources is based on the City's Safety Element of the General Plan.

a. Geologic Hazards:

Fault Rupture: As described in the City General Plan EIR, there are no known active fault lines within the City. No impacts would result.

Groundshaking: The San Andreas Fault, located approximately 74 kilometers east Buellton, dominates both the geologic structure and seismicity of the project area. However, faults closer to the project site also have the potential to generate earthquakes and strong groundshaking at the site. These include: (1) the offshore group, including the Hosgri and Santa Lucia (Purissima and Lampoe) faults; and (2) the Santa Ynez Fault. In addition, the Los Alamos-Baseline-Lions and Casmalia-Oreutt-Little Pine faults may be active and pose potential to generate groundshaking at the project site.

The largest upper level earthquake (ULE) in Buellton would be an approximate 7.8 moment magnitude earthquake on the San Andreas Fault. Such an event could produce peak horizontal ground acceleration on the order of 0.16g¹. Due to the relative location of the Los Alamos-Baseline (approximately 8 kilometers south), Santa Ynez (approximately 10 kilometers northeast), and North Channel Slope (approximately 25 kilometers east) faults to Buellton, higher ULE accelerations may be expected from these faults. Although higher accelerations may be experienced in Buellton from these faults, compared to events on the San Andreas Fault, the recurrence interval for such events is much longer than for an event on the active San Andreas Fault Zone. Seismic safety issues would be addressed through the California Building Code (CBC) and implementation of the recommendations on foundation and structural design

¹ The force on a building during an earthquake is proportional to ground acceleration. Such forces are prescribed by the CBC. During an earthquake the ground acceleration varies with time. "g" is a common value of acceleration equal to 9.8 m/sec² (the acceleration due to gravity at the surface of the earth). 30% of g is the acceleration one would experience in a car that takes 9 seconds to brake from 60 miles per hour to a complete stop.

contained in the geotechnical investigation. CBC requirements may include the use of drilled pier foundations extending into bedrock, the use of tie beams between piers, and the use of shear walls. Less than significant impacts would result.

Seismic Ground Failure: Liquefaction is the phenomenon in which soil temporarily loses strength due to a buildup of excess pore-water pressure caused by seismic shaking. Liquefaction occurs in loose to medium dense saturated sand, typically within the upper 50 feet of the ground surface. According to the City of Buellton Department of Public Works, City Well No. 9 at 140 West Highway 246 has a depth to groundwater of 50 feet below ground surface (Bill Albrecht, 2006). Given the location of the well, the depth to groundwater is estimated at about 50 feet or less below surface elevation at the project site. A site-specific geotechnical report has not been completed, as of this date, for the subject property.

Landsliding: Slopes in the City are geologically stable and are not subject to major landslides. The project site is flat (0 to 2 percent slopes) and does not contain any known landslide areas. The site does not contain and is not located immediately adjacent to any hillsides that could pose a hazard to future site occupants due to landsliding. No impacts would result.

b. **Erosion:** Since a portion of the site is developed, no significant erosion impacts are anticipated. The City's adopted Grading Ordinance, requirements of the Regional Water Quality Control Board, and the City's standard conditions of approval require erosion and sediment control plans for all projects. Based on the required implementation of these requirements, the impact to erosion is considered less than significant.

c. - d. **Unstable/Expansive Soils:** The site is not located in a known area of unstable or expansive soils and the property has been previously graded and compacted. Therefore, no impacts would occur.

e. **Suitability for Septic Systems:** All project wastewater would be discharged to the City sewer system. No septic systems have been proposed. No impacts would result.

Findings and Mitigation: All development of the site must follow standard California Building Code requirements. Compliance with these regulations and requirements would result in less than significant geology related impacts. No mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
VII. HAZARDS AND HAZARDOUS MATERIALS - Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?				X
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				X
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				X
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X

a. – b. Hazardous Substances/Hazardous Materials Releases: The project would not create reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment, as the project would not involve the storage or transport of substantial quantities of such materials, or any hazardous design features since it is a campground. No impacts would occur.

c. Hazardous Materials Near Schools: The project site is not located within one-quarter mile of an existing or proposed school.

d. Hazardous Materials Sites: The project site is not located on a site which is included on a list of hazardous materials sites.

e. - f. Public and Private Airstrip Safety Hazards: No public or private airports are in the vicinity of the project site.

g. Emergency Response/Evacuation: The project site is not subject to an emergency response or evacuation plan. No impacts would occur.

h. Wildland Fire Hazards: The site is not in a wildland fire hazard area as identified in the Safety Element of the Buellton General Plan. No impacts would occur.

Findings and Mitigation: No impacts would occur, therefore, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
VIII. HYDROLOGY AND WATER QUALITY - Would the project:				
a) Violate Regional Water Quality Control Board water quality standards or waste discharge requirements?			X	
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (i.e., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X	
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?			X	

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?			X	
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			X	
f) Otherwise substantially degrade water quality?			X	
g) Place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?				X
i) Expose people or structures to a significant risk of loss, injury, or death involving flooding, including flooding as a result of the failure of a levee or dam?			X	
j) Inundation by seiche, tsunami, or mudflow?				X

a. **KWOCB Standards:** The proposed project would discharge wastewater directly to the public sewer system, including passing through a grease interceptor per City ordinance for the expanded restaurant. Therefore, the impact is considered less than significant.

b. **Groundwater Supply:** Water is supplied to the City of Buellton from the Buellton Uplands Groundwater Basin, the Santa Ynez River Riparian Basin, and State Water Project (SWP). Water allocation from the SWP varies based on local demand and availability. Therefore, the City's SWP supplies may fluctuate based on the quantity of water the City needs to meet demand and whether or not it is available from the State. Neither groundwater basin is in a state of overdraft, as the natural recharge rates either exceed the capacity of the basin or exceed the rate of pumping from the basin; furthermore, the Buellton Uplands Groundwater Basin has a net surplus of 800 AFY. The project would create an increased demand for water, but the City has an adequate supply to accommodate the proposed project. Impacts would be less than significant.

c. **Runoff/Erosion and Siltation:** The project proposes all surface drainage to be provided at a minimum of 5% for 10 feet away from the foundation line of any structure. Drainage will be directed to an existing paved ramp. Drainage improvements are such that they will not create erosion and siltation to occur. In addition, all grading of the site must conform to the erosion control requirements of the National Pollutant Discharge Elimination System (NPDES) regulations. As such, erosion and siltation during the construction period would be minimized and would result in less than significant impacts.

d. **Alter Drainage Pattern:** The existing drainage pattern of the site flows southerly as sheet flow to the Santa Ynez River. The drainage pattern would not change as a result of this project. Impacts are considered less than significant.

e. **Runoff/Stormwater Drainage System Capacity:** The project would generate a post-development run-off equal to or less than the currently developed project site. The site is partially developed. The proposal adds paved roads, sports fields, a pool, camp sites, landscaping and a few small structures to the site. The proposed grading plan shows sheet flow to the southwest corner of the site with a requirement to capture some of the run-off to minimize the effective impervious area. The storm water then flows into the Santa Ynez River. Impacts are considered less than significant.

f. **Substantially Degrade Water Quality:** Increase in potential erosion and sedimentation to drainages is expected with grading activities which could impact water quality. However, compliance with the NPDES and SWPPP regulations would result in less than significant

impacts. Erosion and sedimentation is not anticipated as a result of run-off from the developed areas as the areas drain to completely improved facilities.

g. Housing within Floodplains: The site is not a housing project. No impacts would occur.

h. Flood Hazards: A small area on the west side of the property is located within a designated 100-year flood plain, however no structures are proposed in the flood plain. No impacts would occur.

i. Flooding and Dam Failure: The project site is located in a dam failure inundation hazard area. However, as this is a commercial project and the transient occupants can leave the site if necessary, the impacts are not considered significant.

j. Seiche, Tsunami, Volcano: The site is not located in the vicinity of any body of water that could result in a seiche or tsunami, and no volcanic activity occurs in the region. No impacts would result.

Findings and Mitigation: Since no significant impacts were identified, no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
<i>IX. LAND USE AND PLANNING</i> - Would the project:				
a) Physically divide an established community?				X
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the General Plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?				X
c) Conflict with any applicable habitat conservation plan or natural communities conservation plan?				X

a. Physical Division of Established Communities: The proposed project is an urban infill site. As such, it does not divide an established community.

b. - c. Policy Consistency/Habitat Plan: The proposed project is consistent with the applicable policies of the Buellton General Plan and meets the development standards of the Buellton Municipal Code. No habitat or conservation plans exist within the City of Buellton. A policy consistency analysis is provided below.

GENERAL PLAN POLICY CONSISTENCY

The consistency of the proposed project with the applicable General Plan policies is described in the paragraphs below.

Land Use Element

Policy L-5: New development shall not be allowed unless adequate public services are available to serve such new development.

Consistent: Adequate infrastructure exists in the area to serve the proposed project.

Policy L-12: All exterior lighting in new development shall be located and designed so as to avoid creating substantial off-site glare, light spillover onto adjacent properties, or upward into the sky. The style, location, and height of the lighting fixtures shall be submitted with building plans and shall be subject to approval by the City prior to issuance of building or grading permits, as appropriate.

Consistent: Lighting fixtures consistent with this policy and the Community Design Guidelines will be part of the project.

Policy L-24: New commercial development shall be encouraged in Buellton along Avenue of Flags and Highway 246. In general, new commercial development should provide a wider range of retail shopping opportunities for the community.

Consistent: The commercial project is located along Avenue of Flags and the use is allowed in the CR zoning district per the Buellton zoning ordinance.

Policy L-25: The visitor-serving sector of the local economy should be maintained and, as demand increases, expanded.

Consistent: The RV Resort is a visitor serving business and it is being expanded.

Policy L-28: New commercial development should incorporate elements to encourage pedestrian access and to screen parking areas from public view.

Consistent: Sidewalks and landscaping, including trees, currently exist along the Avenue of Flags frontage and help to screen the property from public view.

Circulation Element

Policy C-5: Level of Service "C" or better traffic conditions shall be generally maintained on all streets and intersections, lower levels of service may be accepted during peak times or as a temporary condition, if improvements to address the problem are programmed to be developed.

Consistent: All roads and intersections are expected to operate at LOS "C" or better.

Policy C-7: The City should discourage new commercial or industrial development that allows customers, employees, or deliveries to use residential streets. The circulation system should be designed so that non-residential traffic (especially truck traffic) is confined to non-residential areas.

Consistent: No residential streets are needed to access the property.

Policy C-15: Parking and storage for recreational vehicles and boats should be provided so as not to compete with or diminish the availability of off-street parking is available for passenger vehicles. In particular, RV and boat parking within the Avenue Revitalization Area should be accommodated as recommended in the Urban Design Plan.

Consistent: Parking and storage for recreational vehicles and boats has been provided on the project site.

Policy C-16: The City shall require the provision of adequate off-street parking in conjunction with all new development. Parking shall be located convenient to new development and shall be easily accessible from the street...

Consistent: The on-site parking meets Municipal Code requirements.

Policy C-23: The City should complete a continuous network of sidewalks and separated pedestrian paths connecting housing areas with major activity centers such as shopping areas, schools and recreation.

Policy C-24: New development should provide sidewalks and pedestrian paths consistent with applicable State, Federal and local plans, programs, and standards.

Consistent: Sidewalks are being installed as part of the project.

Conservation and Open Space Element

Policy C/OS-2: Encourage implementation of Best Management practices to eliminate/minimize the impacts of urban runoff and improve water quality.

Consistent: Development must follow all NPDES and SWPPP regulations.

Policy C/OS-10: Require new development to provide sufficient open space.

Consistent: The project provides open space in the form of sports/recreational fields. Open space is not required for commercial projects, however this will be a great addition to the existing RV Resort.

Noise Element

Policy N-7: Noise generated by construction activities should be limited to daytime hours to reduce nuisances at nearby noise receptors in accordance with the hours and days set in the adopted Standard Conditions of Approval.

Consistent: The project is subject to the construction restrictions outlined in the Standard Conditions of Approval.

Public Facilities and Services Element

Policy PF-3: New development shall pay its fair share to provide additional facilities and services needed to serve such development.

Consistent: The project is required to pay all development impact fees.

Policy PF-6: All new development shall connect to City water and sewer systems.

Consistent: The project proposes to connect to the City's water and sewer systems.

Safety Element

Policy S-1: New development (habitable structures including commercial and industrial buildings) shall be set back at least 200 feet from the bank of the Santa Ynez River. A lesser setback may be allowed if a hydro-geologic study by a qualified professional can certify that a lesser setback will provide an adequate margin of safety from erosion and flooding due to the composition of the underlying geologic unit, to the satisfaction of the County Flood Control District, and a lesser setback will not adversely impact sensitive riparian corridors or associated plant and animal habitats, as determined by a qualified biologist, or planned trail corridors. Passive use trails may be allowed within setback areas.

Consistent: No habitable structures are proposed within the setback from the Santa Ynez River. The development proposed within the setback includes camp sites, parking spaces, landscaping and a restroom building.

Policy S-7: All new development shall satisfy the requirements of the California Building Code regarding seismic safety.

Policy S-10: Require that adequate soils, geologic and structural evaluation reports be prepared by registered soils engineers, engineering geologists, and/or structural engineers, as appropriate, for all new development proposals for subdivisions or structures for human occupancy.

Consistent: A soils report will be prepared for the project and the project is subject to the California Building Code.

Table 2. Project Consistency With CR Zoning District Standards

Development Feature	City Requirement	Proposed	Project Consistency
Minimum Lot Area	None Required	14.05 acres	Consistent
Front Setback	None	216 feet	Consistent
Side Setback	None	74 feet and 220 feet	Consistent
Rear Setback	10 feet	195 feet	Consistent
Landscaping	5%	Approximately 8%	Consistent
Site Coverage	None Required	.01%	Consistent
Height Limit	35 feet	24 feet	Consistent
Parking	1 per camp site and 1 per 5 employees Total = 111 spaces	48 visitor parking spaces and 108 camp site spaces Total = 156	Consistent

Source: City of Buellton Municipal Code, Title 19, Zoning.

Findings and Mitigation: No impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
X. MINERAL RESOURCES - Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				X
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X

a. - b. **Mineral Resources:** The site does not support significant mineral resources, nor have any been identified in local plans or resource inventories. The proposed project would not result in impacts to mineral resources.

Findings and Mitigation: No impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
XI. NOISE - Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?			X	
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?			X	
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			X	
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				X
f) For a project within the vicinity of a private airstrip would the project expose people residing or working in the project area to excessive noise levels?				X

a. - d. **Noise Level Increase:** The majority of the project site is located within the 60 dBA and 65 dBA CNEL noise contours as identified in the Noise Element of the General Plan. A small portion of the project site is located within the 70 dBA CNEL noise contour. The noise source is Highway 101 and the 70 dBA CNEL noise contour is located closest to the highway. Approximately 80 % of the project site is not located in the 70 dBA CNEL noise contour. Impacts are considered less than significant.

e. - f. **Airport Noise:** The project site is not within a flight path or airport land use area. No impacts would occur.

Findings and Mitigation: No significant impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
XII. POPULATION AND HOUSING -- Would the project:				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X	
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X

a. Population Growth: The site is planned for and zoned for commercial development.

b. - c. Displacement: The site does not contain any residences and as such would not displace any residents.

Findings and Mitigation: No significant impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
XIII. PUBLIC SERVICES - Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
a) Fire protection?			X	
b) Police protection?			X	
c) Schools?				X
d) Parks?				X
e) Other public facilities?				X

a. Fire Services: The project area is served by Station 31 of the Santa Barbara County Fire Department located at 168 West Highway 246. The station is located within one-half of a mile of the project site and is within the 5-minute response time of the station. Fire protection impacts are considered less than significant.

b. Police Services: The project area is served by the City of Buellton Police Department which is contracted through the Santa Barbara County Sheriff's Department. One patrol officer is on duty at all times. No significant impacts have been identified with respect to Police services.

c. School Services: The proposed project is commercial and would not generate students and thereby impact school services. No impacts would occur.

d. Parks: The project is commercial and includes recreational/sports fields. The project is not expected to impact parks or park services in the city. No impacts would occur.

e. Other Public Facilities: No other impacts to public services has been identified.

Findings and Mitigation: No significant impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
XIV. RECREATION -				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X	
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?			X	

a. **Demand for Parks and Recreation:** The proposal is an expansion of a visitor-serving commercial project. Parks and recreational uses are included in the project. Visitors may use other public parks and recreational facilities; however it is not expected to make a significant impact.

b. **Construction of Recreational Facilities:** The project includes recreational facilities, however it is not expected to have an adverse physical effect on the environment.

Findings and Mitigation: No significant impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
XV. TRANSPORTATION/TRAFFIC - Would the project:				
a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?			X	
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?			X	
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				X
d) Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
e) Result in inadequate emergency access?				X
f) Result in inadequate parking capacity?				X
g) Conflict with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)?				X

a. - b. **Traffic Congestion:** The project is estimated to generate approximately 68 average daily vehicle trips. The small number of increased trips is not expected to have any significant impacts on the surrounding circulation system.

c. **Air Traffic:** The project would not affect air traffic patterns. No impacts would occur.

d. Traffic Hazards: No roadways are planned as part of this project and no incompatible uses are proposed. No impacts would occur.

e. Emergency Access: Emergency access routes are not affected by the project. No impacts would occur.

f. Parking: The project meets the Municipal Code in regards to required amount of parking. No impacts would occur.

g. Alternative Transportation: No conflicts with these facilities would be created as a result of the project. No impacts would occur.

Findings and Mitigation: No significant impacts would occur, therefore no mitigation is required.

ISSUES:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
XVI. UTILITIES AND SERVICE SYSTEMS - Would the project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?			X	
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?			X	
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			X	
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?			X	
g) Comply with federal, state, and local statutes and regulations related to solid waste?			X	

a. Wastewater Treatment Requirements: The anticipated use of the site is not anticipated to generate waste of increased or concentrated strengths. All elements of the project will be directly connected to the public sewer for ultimate treatment at the City's wastewater treatment plant. A grease interceptor in the expanded restaurant/café is required by City ordinance. Impacts would be less than significant.

b., c. Water and Wastewater Facility Construction/Wastewater Treatment Capacity: The project is anticipated to generate an average daily flow of 8,640 gallons per day. The City's wastewater treatment plant has a total capacity of 650,000 gallons per day, and has a current average daily flow of approximately 480,000 gallons per day. The project generation will increase the current average daily flow by less than two percent. The existing wastewater treatment plant and sewer mains have sufficient capacity to accommodate the project's flows. Impacts would be less than significant.

c. Storm Drain Construction: The project would convey drainage along its historic area of flow toward the southern part of the property. No additional impacts are anticipated.

d. Water Supplies: This project would increase the demand for domestic water from the City's supplies; however, the City has adequate supply to service the project without obtaining new or expanded water entitlements. Impacts would be less than significant.

f., g. Solid Waste: No significant solid waste impacts have been identified with respect to the proposed project.

Findings and Mitigation: No significant impacts would occur, therefore no mitigation is required.

XVII. MANDATORY FINDINGS OF SIGNIFICANCE	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?			X	
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?			X	
c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?			X	

a. Air quality, biological resources and hazardous materials impacts were determined to be less than significant.

b. The cumulative traffic impacts were determined to be less than significant.

c. The adherence to General Plan policies would reduce all impacts that have the potential to affect human beings to a less than significant level.

Figure 1 - Vicinity Map

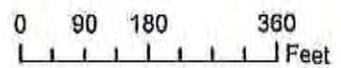
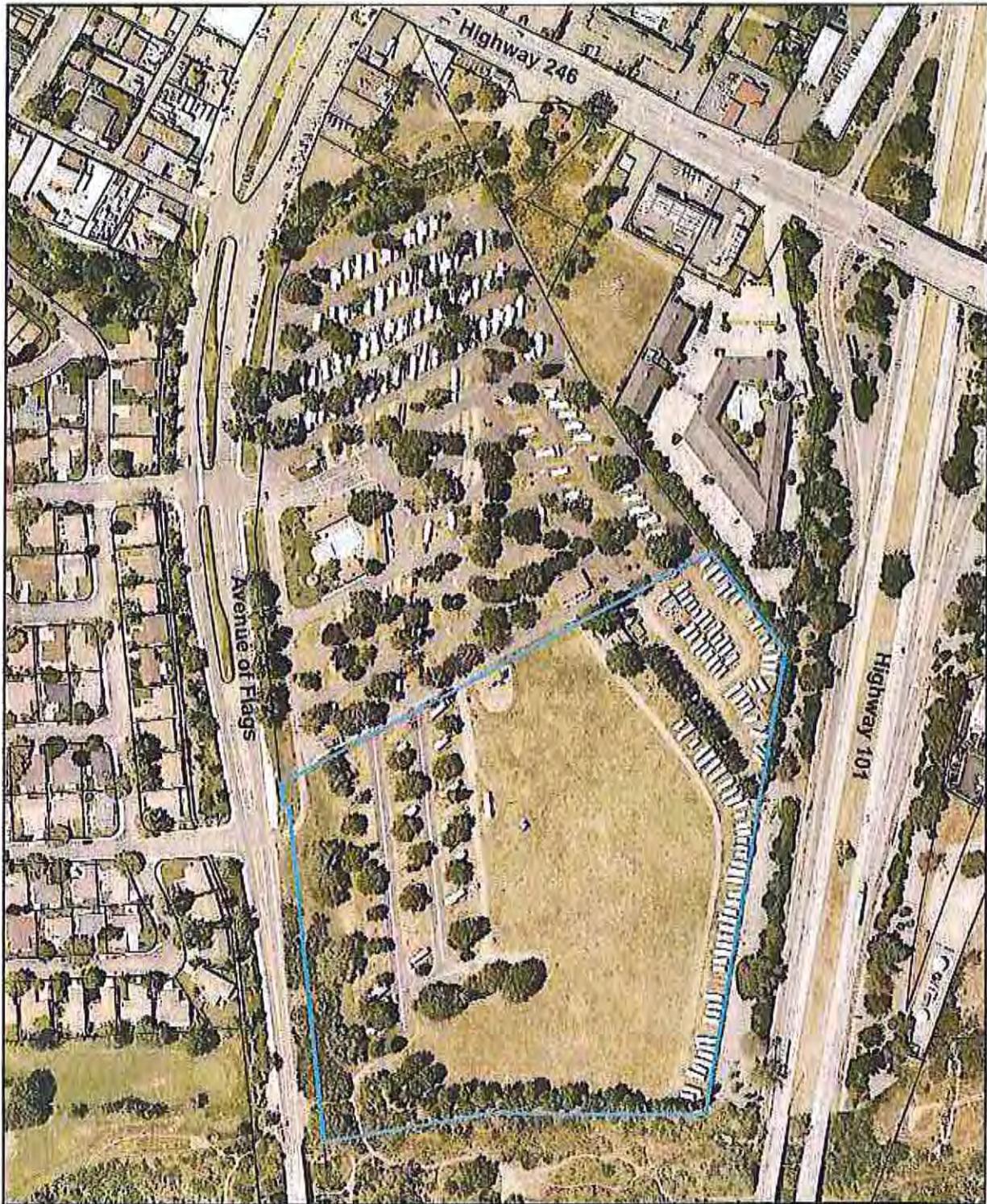
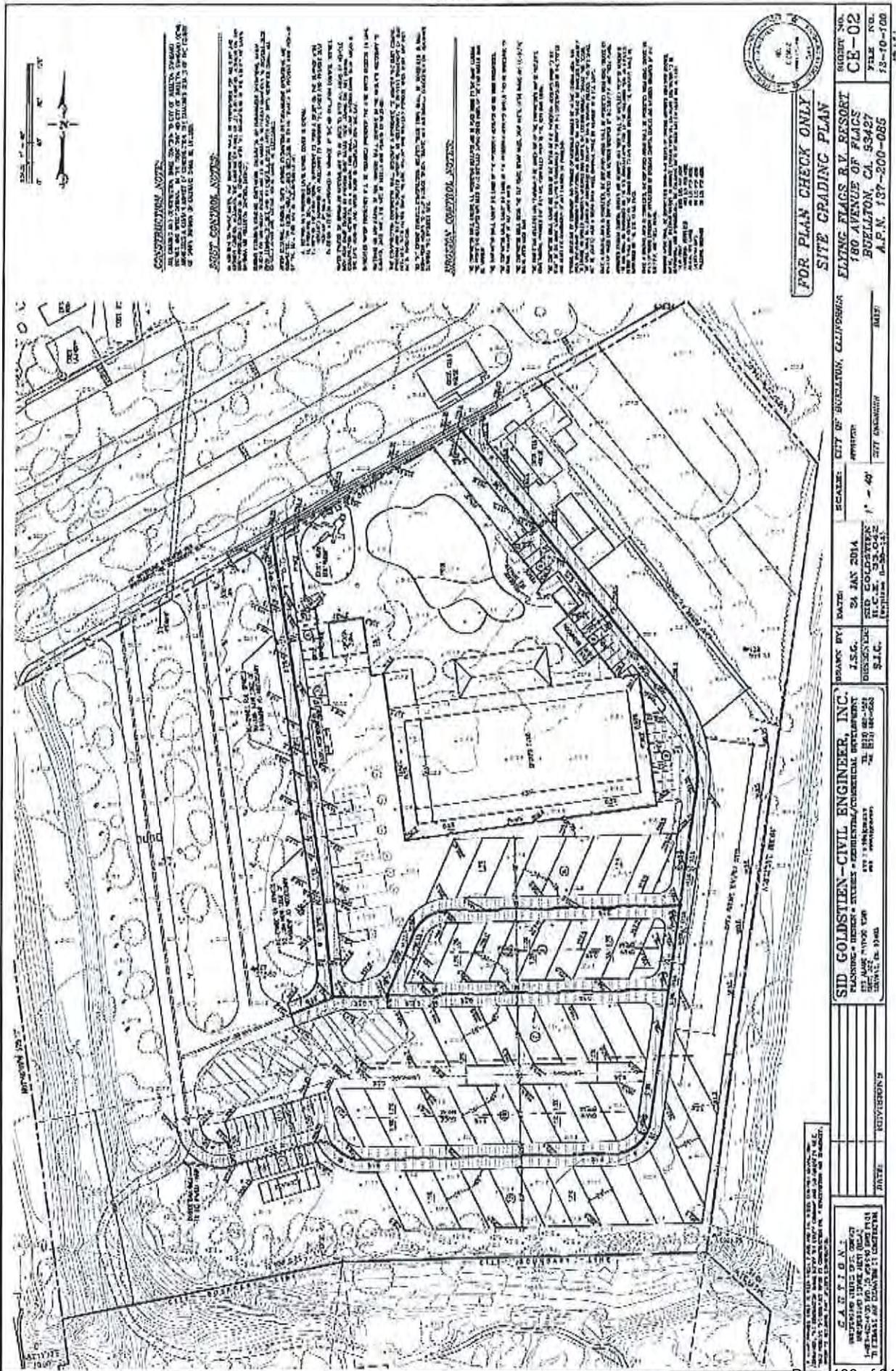


Figure 3



FOR PLAN CHECK ONLY
SITE GRADING PLAN

PROJECT NO.
CE-02
FILE NO.
73-10-100

ELVING FLACS R.V. RESORT
180 AVENUE OF FLACS
SUELLTON, CA 95427
A.P.N. 137-200-085

SCALE: CITY OF SUELLTON, CALIFORNIA
DATE: 24 JAN 2014
DESIGNER: SID GOLDSTIEN
PROJECT NO.: CE-02
FILE NO.: 73-10-100

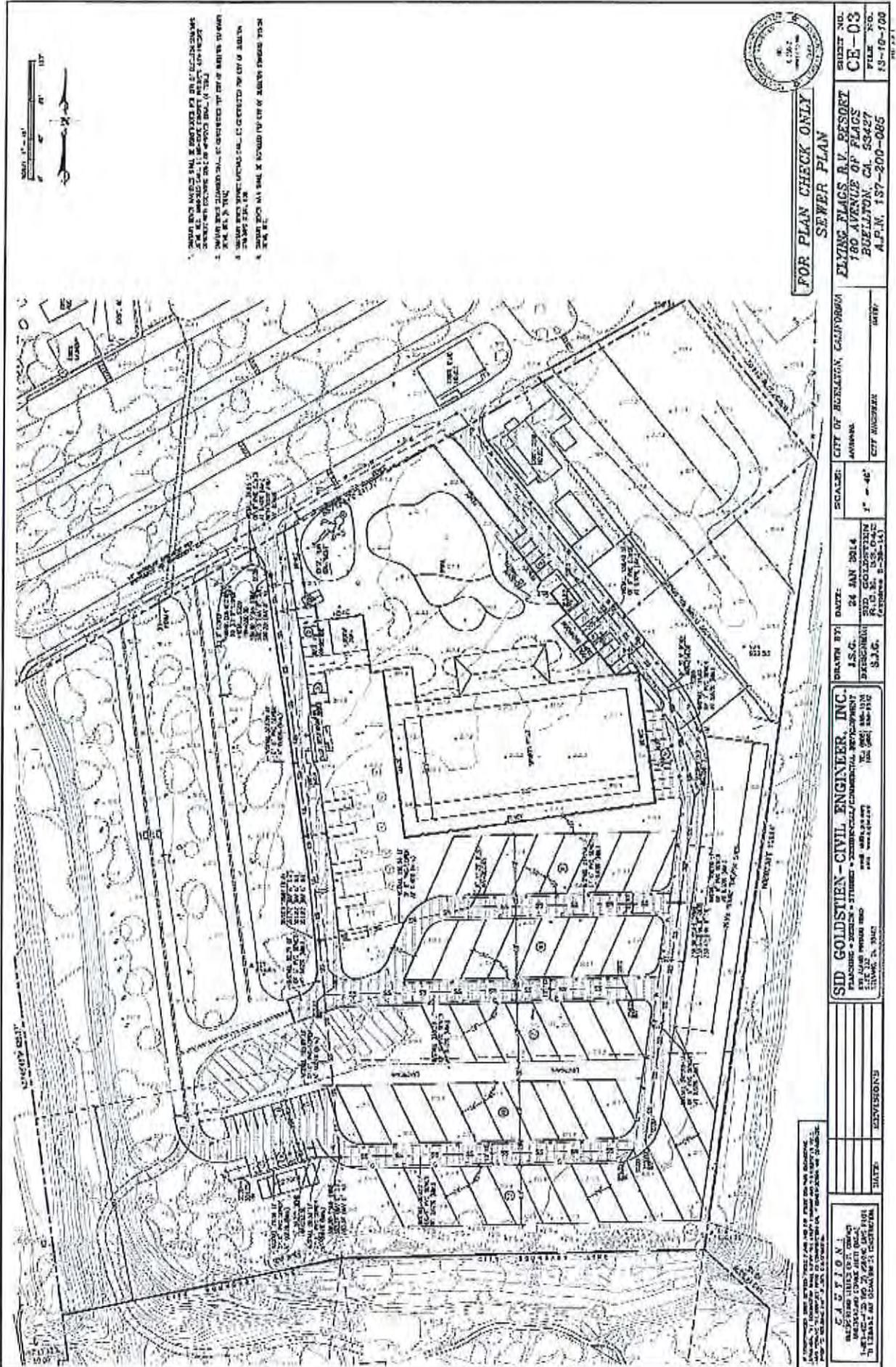
DRANS BY: J.S.G.
DISSEMINATED BY: J.S.G.
DATE: 24 JAN 2014

SID GOLDSTIEN - CIVIL ENGINEER, INC.
PLANNING • DESIGN • SURVEY • GEOTECHNICAL/COMMERCIAL DEVELOPMENT
1111 JAMES AVENUE, SUITE 100
SUELLTON, CA 95427
TEL: (530) 865-0858
FAX: (530) 865-0859
WWW.SIDGOLDSTIEN.COM

C.A.T.Y.O.N.
REGISTERED UNDER THE STATE OF CALIFORNIA
148-B-2-2013 (P. 1) CIVIL ENGINEER
148-B-2-2013 (P. 1) CIVIL ENGINEER
148-B-2-2013 (P. 1) CIVIL ENGINEER

DATE: 2014/01/24

Figure 4



NOTES:
 1. THE SEWER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANAHEIM SPECIFICATIONS AND THE CALIFORNIA PUBLIC WORKS ACT.
 2. THE SEWER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANAHEIM SPECIFICATIONS AND THE CALIFORNIA PUBLIC WORKS ACT.
 3. THE SEWER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANAHEIM SPECIFICATIONS AND THE CALIFORNIA PUBLIC WORKS ACT.
 4. THE SEWER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANAHEIM SPECIFICATIONS AND THE CALIFORNIA PUBLIC WORKS ACT.
 5. THE SEWER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANAHEIM SPECIFICATIONS AND THE CALIFORNIA PUBLIC WORKS ACT.

FOR PLAN CHECK ONLY
 SEWER PLAN

SHEET NO.
 CE-03
 FILE NO.
 15-10-100

ELVING FLACS R.V. RESORT
 180 AVENUE OF FLAGS
 BUENAVISTA, CA 92627
 A.P.N. 157-200-085

CITY OF ANAHEIM, CALIFORNIA
 ANAHEIM
 CITY ENGINEER

SCALE:
 1" = 40'

DATE:
 24 JAN 2014
 S.D. GOLDSTEN
 R.D. & S.S. OAL
 (LICENSE 5282-15)

DRAWN BY:
 J.S.C.
 S.D. GOLDSTEN
 S.J.C.

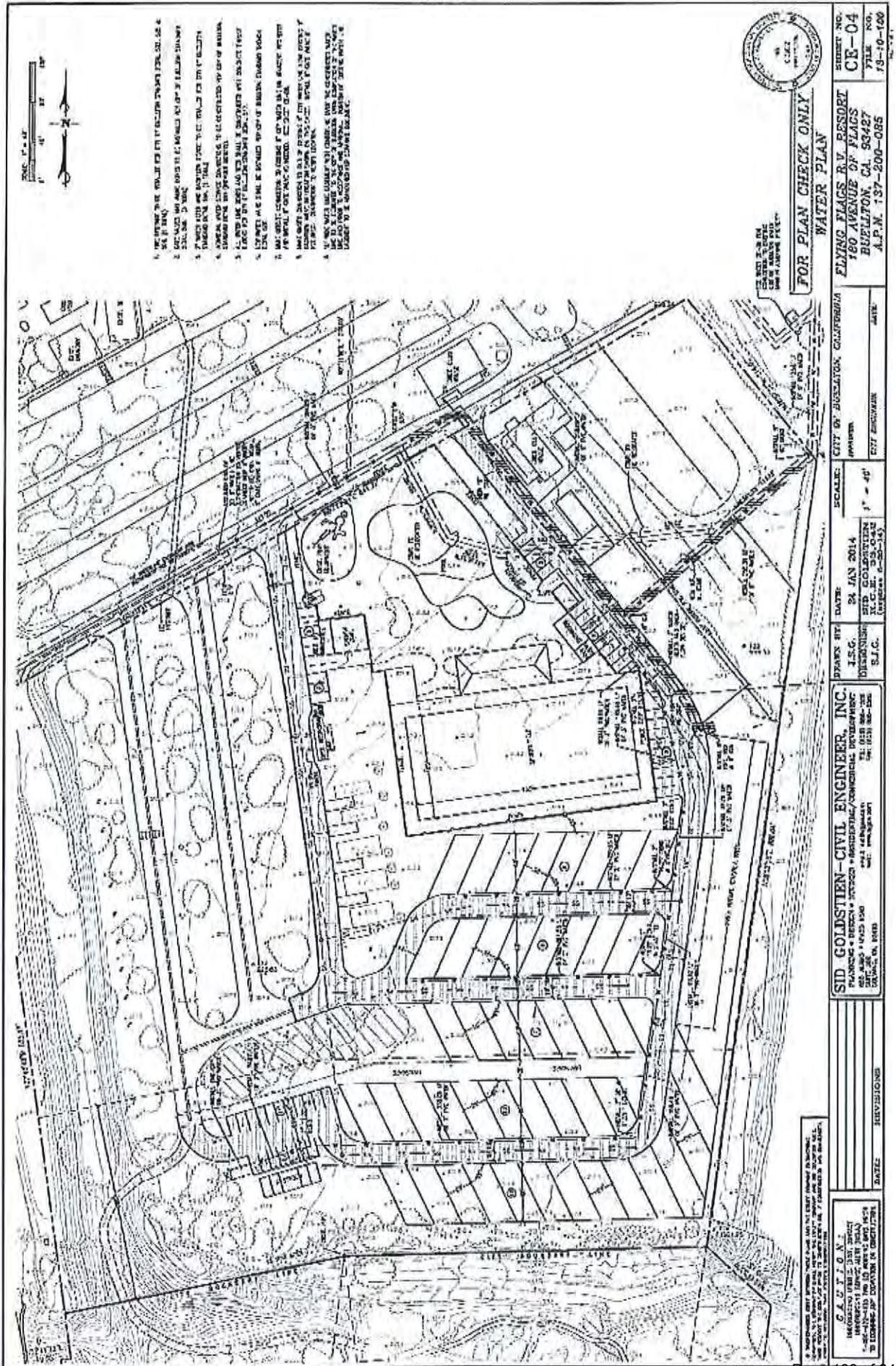
SID GOLDSTEN - CIVIL ENGINEER, INC.
 PLANNING • DESIGN • SURVEY • ENVIRONMENTAL IMPROVEMENT
 515 1/2 MAIN RD
 SUITE 200
 STARK, N. YORK
 NY 10981
 TEL: 845-339-1111
 FAX: 845-339-1112

NO.	REVISIONS	DATE

CALIFORNIA
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 5282-15
 IN THE CITY AND COUNTY OF ANAHEIM

THIS PLAN IS THE PROPERTY OF SID GOLDSTEN - CIVIL ENGINEER, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

Figure 5



1. THE WORK IS TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THESE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BULLHORN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.



FOR PLAN CHECK ONLY
WATER PLAN

PROJECT NO. CE-04
FILE NO. 13-10-100
FLAMINGO FLATS RV RESORT
180 AVENUE OF FLAGS
BULLHORN, CA 93427
A.P.N. 137-200-085

CITY OF BULLHORN, CALIFORNIA
APPROVED
CITY ENGINEER

DATE: 24 JAN 2014
DISCUSSION: STD GOLDSTIEN
N.C.E. 93,043
(SPECIAL CONTRACT)

ISSUES BY: J.S.G.
DISCUSSION: S.J.C.

SID GOLDSTIEN - CIVIL ENGINEER, INC.
PLANNING • DESIGN • CONSTRUCTION • RESIDENTIAL/COMMERCIAL DEVELOPMENT
200 W. 10th St. Suite 100
Bullhorn, CA 93427
Tel: (562) 862-1234
Fax: (562) 862-1235
www.sidgoldstien.com

DATE: _____
REVISIONS: _____

G.A.U.T.I.E.N.
REGISTERED PROFESSIONAL ENGINEER
No. 137-200-085
EXPIRES 10/10/10
TO EXERCISE THE PROFESSION OF ENGINEERING

Figure 6

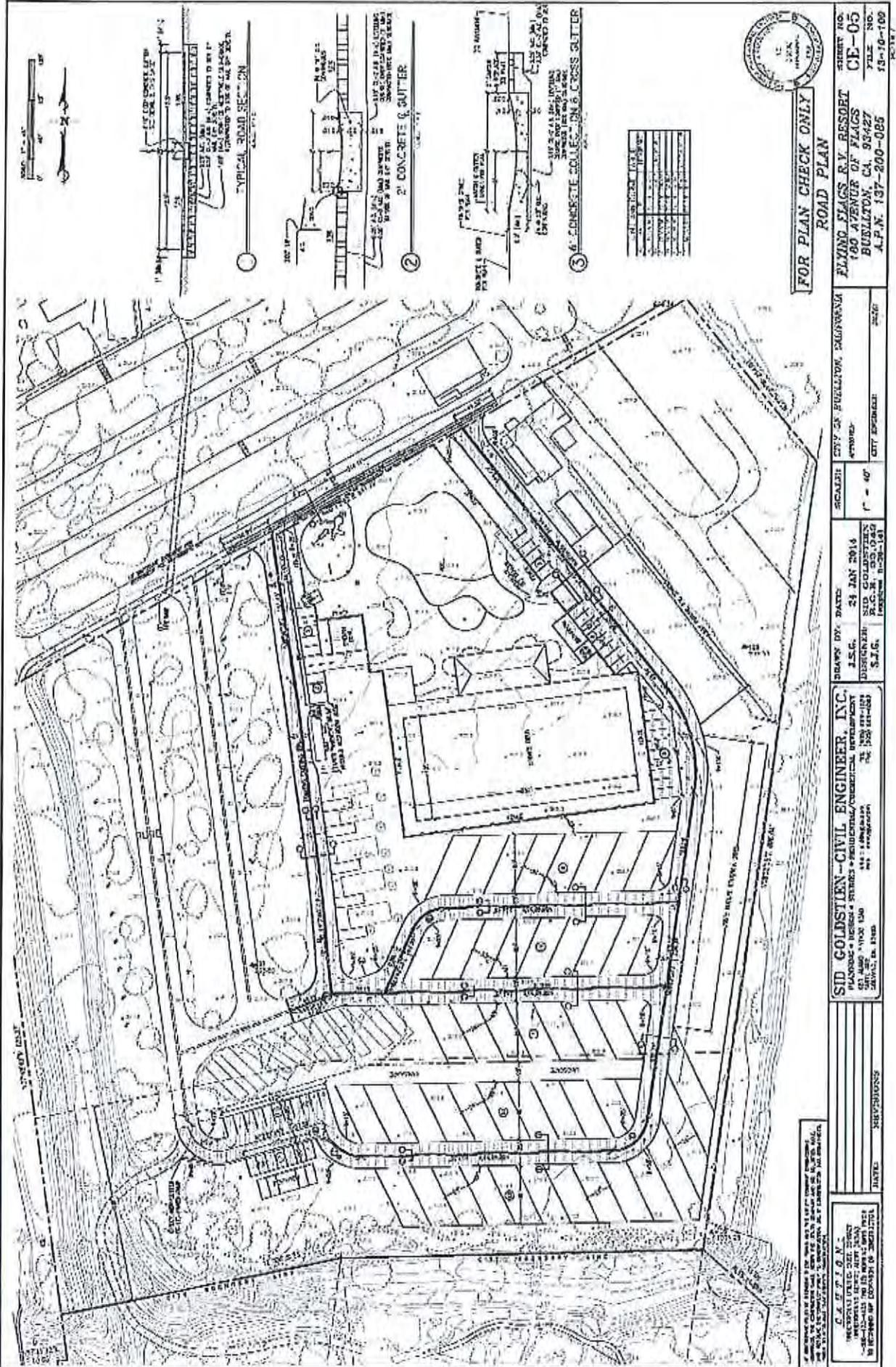
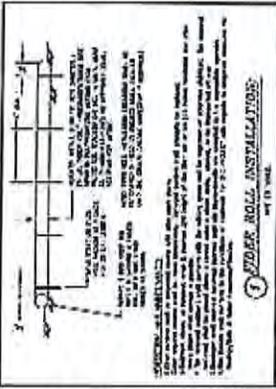
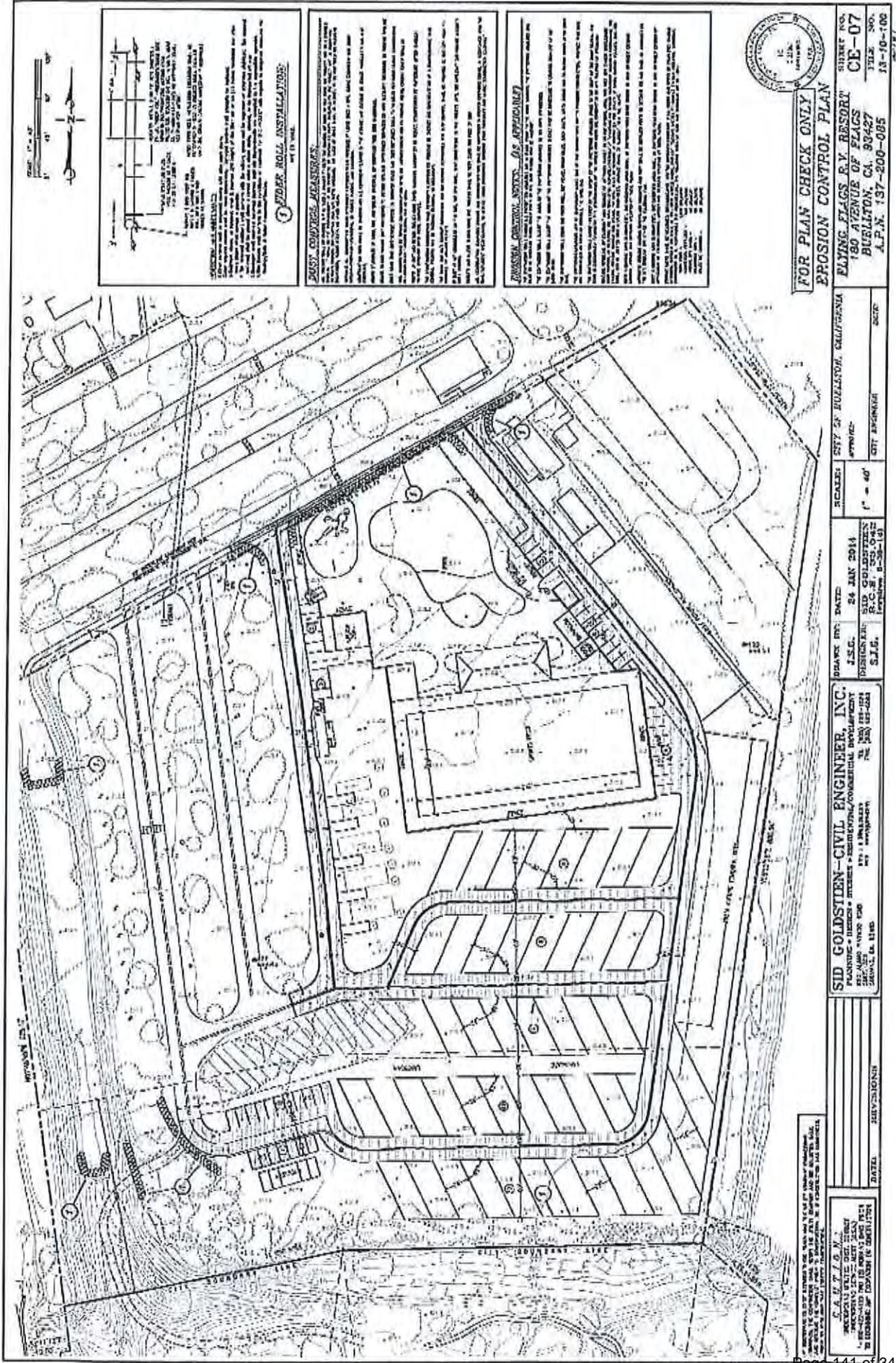


Figure 8



1. CHECK DAM INSTALLATION
 CHECK DAMS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
 1. AT THE DOWNSTREAM END OF EACH SLOPE.
 2. AT THE DOWNSTREAM END OF EACH CUT.
 3. AT THE DOWNSTREAM END OF EACH ROADWAY.
 4. AT THE DOWNSTREAM END OF EACH DRIVEWAY.
 5. AT THE DOWNSTREAM END OF EACH SIDEWALK.
 6. AT THE DOWNSTREAM END OF EACH CURB.
 7. AT THE DOWNSTREAM END OF EACH GUTTER.
 8. AT THE DOWNSTREAM END OF EACH DRAINAGE DITCH.
 9. AT THE DOWNSTREAM END OF EACH SWALE.
 10. AT THE DOWNSTREAM END OF EACH CHANNEL.

2. EROSION CONTROL MEASURES - SEE APPENDIX
 EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
 1. AT THE DOWNSTREAM END OF EACH SLOPE.
 2. AT THE DOWNSTREAM END OF EACH CUT.
 3. AT THE DOWNSTREAM END OF EACH ROADWAY.
 4. AT THE DOWNSTREAM END OF EACH DRIVEWAY.
 5. AT THE DOWNSTREAM END OF EACH SIDEWALK.
 6. AT THE DOWNSTREAM END OF EACH CURB.
 7. AT THE DOWNSTREAM END OF EACH GUTTER.
 8. AT THE DOWNSTREAM END OF EACH DRAINAGE DITCH.
 9. AT THE DOWNSTREAM END OF EACH SWALE.
 10. AT THE DOWNSTREAM END OF EACH CHANNEL.



FOR PLAN CHECK ONLY
EROSION CONTROL PLAN
 ELYING FLAGS R.V. RESORT
 180 AVENUE OF FLAGS
 BUELLTON, CA 94627
 A.P.N. 137-200-085

SCALE: 1" = 40'	DATE: 24 JAN 2014	PROJECT: ELYING FLAGS R.V. RESORT
APPROVED: [Signature]	DRAWN BY: S.G.	CITY ENGINEER
CITY OF BUELLTON, CALIFORNIA	DISSEMINATED TO: S.G.	PROJECT NO. 137-200-085
PROJECT NO. 137-200-085	DATE: 24 JAN 2014	SCALE: 1" = 40'
PROJECT NO. 137-200-085	DATE: 24 JAN 2014	SCALE: 1" = 40'

SID GOLDSTIEN - CIVIL ENGINEER, INC.
 PLANNING • DESIGN • INTERIORS • ENVIRONMENTAL/COMMERCIAL DEVELOPMENT
 2000 W. MAIN ST. SUITE 100
 BUELLTON, CA 94627
 TEL: 805.438.1111
 FAX: 805.438.1112
 WWW.SIDGOLDSTIEN.COM

Buellton Municipal Code

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Title 19 ZONING

Chapter 19.08 LAND USE PERMIT PROCEDURES

19.08.120 Development plans.

The development plan process provides for the discretionary review by the city of projects allowed by right within their respective zoning districts which, because of the type, scale, or location of the development, require more detailed review than that afforded by the zoning clearance process. When development plan approval is required by Chapter 19.02 of this title to authorize a proposed land use, the permit application shall be processed as follows.

A. Applicability.

1. Whenever Chapter 19.02 of this title requires development plan approval for a specified land use, a development plan application shall be filed with the department and approved only for:

- a. The first development of a vacant site; or
- b. The replacement of an existing building, structure, or site improvement; or
- c. The construction of an additional building, structure, or site improvement not authorized by a development plan; or
- d. An existing building, structure, or site improvement proposed for expansion or alteration, that was not originally authorized by a development plan.

After the construction of a building, structure, or site improvement authorized by development plan approval is completed, the replacement of an existing land use with a new use that is listed as allowed by Chapter 19.02 of this title shall require zoning clearance (Section 19.08.100) instead of a new development plan, except where the proposed new use is prohibited by conditions of approval of the previous development plan.

2. When development plan approval is required by Chapter 19.02 of this title, no construction permit shall be issued for any development, including grading, for any property subject to the provisions of this section until a preliminary and/or final development plan has been approved as provided by this section, with the exception that the director may waive the requirements of this section if the project involves only a minor alteration, addition, or replacement to an existing structure, and where there is a previously approved final development plan on file in the planning department, the project is in substantial conformance with such development plan.

3. An applicant may file a preliminary and then a final development plan, or just a final development plan. When only a final development plan is filed, it shall be processed in the same manner as a preliminary development plan.

4. No portion of any property not included within the boundaries of the development plan shall be entitled to any development permits.

B. Jurisdiction. In the service commercial (CS) and light industry (M-1) zoning districts, preliminary and final development plans for buildings and structures that do not exceed a total of ten thousand (10,000) square feet in gross floor area for the entire parcel shall be under the jurisdiction of the director and shall be processed as set forth herein.

C. Application Contents. Applications for preliminary and final development plans shall include the forms provided by the planning department, together with all additional information and materials specified on the "required application contents" list furnished by the planning department with all land use permit applications.

D. Processing of Preliminary Development Plan.

1. Any application filed pursuant to this section that is inconsistent with the use and/or density requirements of this title or the general plan must incorporate measures or be accompanied by any additional permit applications necessary to make the project consistent. The planning department may refuse to accept for processing any application the director finds to be inconsistent with the general plan.

2. Upon receipt of the preliminary development plan, the planning department shall process the plan through environmental review pursuant to the city CEQA guidelines.

3. If the preliminary development plan is under the jurisdiction of the director, a public hearing shall not be required. However, notice shall be given at least ten days prior to the date of the director's decision as provided in Section 19.10.400 of this title. The director may approve, conditionally approve, or deny the plan. The director shall give notice of approval pursuant to Section 19.10.400(A)(2) of this title. The director's decision shall be final, subject to appeal to the planning commission as provided in Section 19.10.130 of this title.

4. The planning commission shall consider preliminary development plans within its jurisdiction at a noticed public hearing and approve, conditionally approve, or deny the plan. The planning commission's action shall be final, subject to appeal to the city council as provided in Section 19.10.130 of this title.

5. If the preliminary development plan is submitted in conjunction with an application for a general plan amendment, rezoning, tentative map or any other entitlement which requires final action by the city council, the planning commission shall recommend approval, conditional approval, or denial to the city council. The planning department shall provide to the city clerk the recommendation of the planning commission, together with all forms of notice required, in accordance with Section 19.10.400 of this title, of the time and place of a public hearing before the city council to consider the applications. The city clerk shall set the matter for public hearing and cause to be published all required notices for the public hearing on the applications. The decision of the city council shall be final.

6. If a revised preliminary development plan is required, it shall be processed in the same manner as the original plan. When approved by the planning commission or director, such revised plan automatically supersedes any previously approved plan.

E. Processing of Final Development Plan.

1. Any application filed pursuant to this section that is inconsistent with the use and/or density requirements of this title or the general plan must be accompanied by an application to make the project consistent. The planning department may refuse to accept for processing any application the director finds to be inconsistent with the general plan.

2. Upon receipt of the final development plan, the planning department shall process the plan through environmental review, unless there is no change from the preliminary development plan.

3. When either the planning commission or director has approved a preliminary development plan, the director shall review the final development plan for conformance with the preliminary development plan and shall approve, conditionally approve, or deny the final development plan, without a public hearing. The director shall give notice of approval pursuant to Section 19.10.400(A)(2) of this title. The director's action shall be final subject to appeal to the planning commission as provided in Section 19.10.130 of this title.

4. If the final development plan has any substantial changes from the preliminary development plan approved by the planning commission, other than those required by conditions set in the preliminary development plan, the director shall refer the final development plan to the planning commission for approval.

5. When there is no preliminary development plan, the final development plan shall be processed in the same way as a preliminary development plan, as provided by subsection D of this section.

F. Findings Required for Approval.

1. Preliminary Development Plan. A preliminary development plan shall be approved only if all of the following findings can be made:

- a. That the site for the project is adequate in size, shape, location, and physical characteristics to accommodate the density and intensity of development proposed.
- b. That adverse impacts are mitigated to the maximum extent feasible.
- c. That streets and highways are adequate and properly designed.
- d. That there are adequate public services, including but not limited to, fire protection, water supply, sewage disposal, and police protection to serve the project.
- e. That the project will not be detrimental to the health, safety, comfort, convenience, and general welfare of the neighborhood and will not be incompatible with the surrounding areas.
- f. That the project is in conformance with the applicable provisions of this title and the general plan.
- g. That the project will not conflict with any easements required for public access through, or public use of a portion of the property.
- h. That the proposed development is in conformance with the community design guidelines.

2. Final or Revised Final Development Plan. A final or revised final development plan shall be approved only if all of the following findings are made, in addition to the findings required by subsection (F)(1) of this section:

- a. The plan is in substantial conformity with any approved preliminary or revised preliminary development plan except when the planning commission or director considers a final development plan for which there is no previously approved preliminary development plan. In this case, the planning commission or director may consider the final development plan as both a preliminary and final plan.
 - b. The plan is in conformance with all applicable provisions and policies of the city general plan and this title.
 - c. That the proposed development is in conformance with the community design guidelines.
- G. Conditions, Restrictions, and Modifications.

1. At the time the preliminary or final development plan is approved, the director, planning commission, or city council may modify the building height limit, distance between buildings, setback, yard, parking, building coverage, landscaping or screening requirements specified in the applicable zone district when the director, planning commission, or city council finds that such modifications are justified.

2. As a condition of approval of any preliminary or final development plan, the director, planning commission, or city council may impose any appropriate and reasonable conditions or require any redesign of the project as they may deem necessary to protect the persons or property in the neighborhood, to preserve the neighborhood character, natural resources or scenic quality of the area, to preserve or enhance the public peace, health, safety, and welfare, or to implement the purposes of this title.

3. The director, planning commission, or city council may require as a condition of approval of any development plan, the preservation of trees existing on the property.

H. Time Limits.

1. A preliminary development plan shall expire two years after its approval, except that, for good cause shown, it may be extended for one year by the director or planning commission.

2. Final development plans shall expire five years after approval unless, prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The director or planning commission or city council may, upon good cause shown, grant a time extension for one year.

I. Site and Design Review.

1. Preliminary Site and Design Review. All projects shall be reviewed by the planning commission within the first thirty (30) days of an initial project submittal to review and provide preliminary comments on the site design and architectural elevations. A color board shall be submitted with the initial submittal of a project to assist in the review of the project by staff and the planning commission. The planning commission shall also determine whether story poles are required for projects that are twenty-five (25) feet in height or less as referenced in subsection 19.08.120(I)(2) of this section.

2. Story Poles and Modeling. For all projects that exceed twenty-five (25) feet in height, story poles shall be erected on the project site no later than thirty (30) days before the first public hearing on the project and shall remain in place until a final decision is made on the project. A surveyor or registered civil engineer may be required to certify in writing to the city that the story poles are properly located and reflect proposed heights. Story poles may also be required for projects that are less than twenty-five (25) feet in height as determined by the planning commission during the preliminary site and design review process referenced in subsection 19.08.120(I)(1) of this section. A scale model, a three-dimensional computer graphic presentation, or a three-dimensional graphic rendering shall be provided at the public hearings for the project. Said model or graphic presentations shall include structures on all surrounding properties. The city council may waive the requirement for story poles, scale models, or graphic presentations upon a written request to the city council demonstrating that these items would not provide clarification for review of the project. (Ord. 09-06 § 3, 2009; Ord. 6-02 § 10, 2006; Ord. 01-04 § 6, 2002; Ord. 94-13, 1994; prior code § 19.08.120)

PLANNING COMMISSION RESOLUTION NO. 14-04

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUELLTON, CALIFORNIA, APPROVING A NEGATIVE DECLARATION (13-ND-02) AND A TIME EXTENSION (13-TE-03) REQUEST FOR FINAL DEVELOPMENT PLAN (95-FDP-06), AND MAKING FINDINGS IN SUPPORT THEREOF

BE IT RESOLVED by the Planning Commission of the City of Buellton as follows:

SECTION 1: Pursuant to the Zoning Ordinance of the City of Buellton, an application has been filed by Michael B. Earl, FPA Flying Flags Associates, property owner, and Dan Baumann, agent (hereinafter referred to as "Applicant"), requesting a Time Extension for the approved Final Development Plan (95-FDP-06). The proposal includes a second swimming pool with a pavilion, 56 RV camp sites (combination of full hookup, partial hookup, and no hookup RV/tent spaces), 38 parking spaces, two restroom buildings, paved roads and a sports/recreation field (the "Project"), located at 180 Avenue of Flags, Assessor Parcel No. 137-200-085 (the "Property").

SECTION 2: The application consists of a time extension (the "Extension Request") of an approved Final Development Plan.

SECTION 3: All proceedings having been duly taken as required by law, and upon review of the information provided in the staff report, consideration of the public comment, as well as other pertinent information, the Planning Commission finds the following:

A. Record. Prior to rendering a decision on any aspect of the Project, the Planning Commission considered the following:

1. All public testimony, both written and oral, received in conjunction with that certain public hearing conducted by the Planning Commission on March 20, 2014 ("Public Hearing").
2. All oral, written and visual materials presented by City staff in conjunction with the Public Hearing.
3. The following informational documents which, by this reference, are incorporated herein.
 - a. The Project file for 13-TE-03 and 13-ND-02 and the set of Project plans dated January 24, 2014.
 - b. Planning Commission staff report of March 20, 2014.
 - c. The Negative Declaration (13-ND-02) for the Project.

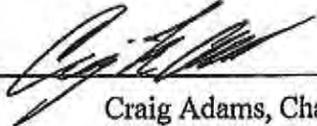
- B. Public Review.** On the basis of evidence hereinafter listed, all administrative procedures and public participation requirements prescribed in the Buellton Zoning Ordinance have been lawfully satisfied:
1. A notice of public hearing was published in a newspaper on March 6, 2014 (the "Public Notice"), a minimum of ten (10) days in advance of the Public Hearing.
 2. The Public Notice was mailed to the Applicant, affected public agencies, persons owning property within 300 feet of the Project site and others known to be interested in the matter on March 6, 2014, 10 days in advance of the Public Hearing.
 3. The Public Notice and Agenda for the Public Hearing were posted in three conspicuous public places a minimum of 10 days before the Public Hearing.
- C. Environmental Clearance.** An Initial Study/Negative Declaration (ND) was prepared in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code sections 21000 et seq., the State CEQA Guidelines, 14 California Code of Regulations sections 15000 et seq., and the CEQA Guidelines of the City of Buellton.
- D. Consistency Declarations.** Based on (i) the evidence presented in the Staff Report (incorporated herein by reference), (ii) consultations with affected City Departments, and (iii) testimony and comments received in connection with the public review the Planning Commission does hereby declare that a time extension is consistent with Section 19.08.120 of the Buellton Municipal Code.

SECTION 4: Based upon the Initial Study/Negative Declaration (13-ND-02) prepared for the project, the Planning Commission exercises its independent judgment and finds that no substantial evidence exists that the approval of the Time Extension as conditioned hereby, will have a significant effect on the environment within the meaning of CEQA and hereby recommends adoption of the Negative Declaration (13-ND-02) with respect to the Project and directs staff to file the Notice of Determination.

SECTION 5: Based on the findings set forth in Sections 2, 3, and 4 and subject to the conditions attached hereto, the Planning Commission hereby approves Time Extension 13-TE-03.

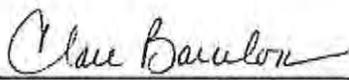
SECTION 6: The Planning Commission Secretary shall certify to the adoption of this resolution.

PASSED, APPROVED, AND ADOPTED this 20th day of March, 2014



Craig Adams, Chair

ATTEST:



Clare Barcelona, Planning Commission Secretary

**CONDITIONS OF APPROVAL
FLYING FLAGS RV RESORT TIME EXTENSION**

**FINAL DEVELOPMENT PLAN 95-FDP-06
TIME EXTENSION (13-TE-03)
NEGATIVE DECLARATION (13-ND-02)**

A. GENERAL PROVISIONS

1. **Project Description.** The approval granted herein is based upon and limited to compliance with the Project Description received February 7, 2014, and conditions of approval set forth below. The Project Description is as follows: A request by Michael B. Earl, FPA Flying Flags Associates, L.P., property owner, and Dan Baumann, agent (the "Applicant") for a Time Extension (13-TE-03) for a Final Development Plan (95-FDP-06) to expand the Flying Flags RV Resort which consists of a second swimming pool with a pavilion, 56 RV camp sites (combination of full hookup, partial hookup, and no hookup RV/tent spaces), 38 parking spaces, two restroom buildings, paved roads and a sports/recreation field (the "Project"). The Project is located at 180 Avenue of Flags (Assessor Parcel Numbers 137-200-085) (the "Property"). The project plans that are included in this approval include the Title Sheet, Site Grading Plan, Sewer Plan, Water Plan, Road Plan, Details, Erosion Control Plan, Electrical Plans and Café Tenant Improvement Plans date stamped February 7, 2014. Any deviations from the Project Description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require formal modification of the approval and/or further environmental review. Deviations without the above-described authorization will constitute a violation of this approval. The following are the approvals:

- **Time Extension for Final Development Plan 95-FDP-06 (Case No. 13-TE-03):** A Time Extension (13-TE-01) for a Final Development Plan that includes the development of a second swimming pool with a pavilion, 56 RV camp sites (combination of full hookup, partial hookup, and no hookup RV/tent spaces), 38 parking spaces, two restroom buildings, paved roads and a sports/recreation field.

2. **Terminology.** Except where otherwise noted, the terms appearing throughout the conditions of approval set forth herein shall have the meanings as defined below. Capitalization is used to identify defined terms and shall have the meanings as set forth below unless the context in which they are used clearly requires otherwise.

- a. **"Applicant"** means Michael B. Earl, FPA Flying Flags Associates, L.P., property owner, and Dan Baumann, agent, and includes all agents, subdividers, developers, contractors, workers and personnel employed on the Project.
- b. **"Building Department"** means the State Department of Housing and Community Development (and all successors and assigns thereof), which

is responsible for performing building plan check and inspection services at the Flying Flags RV Resort.

- c. **"City"** means the City of Buellton and includes the City Manager, City Engineer, Planning Director and all other duly appointed officials having responsibility for land use matters, as well as their respective assignees (e.g., Department staff members). Unless otherwise indicated, the Planning Department shall be the primary point of contact for the City.
- d. **"County"** means the County of Santa Barbara.
- e. **"Final Building Inspection Clearance"** means acknowledgement by the Department of Housing and Community Development that construction of the Project has been completed in full compliance with plans and specifications approved by the Department of Housing and Community Development. Such acknowledgement is typically evidenced by signature of appropriate staff on the building permit inspection form.
- f. **"Fire Department"** means the Fire Department of the County (and all successors and assigns thereof), furnishing fire prevention and protection services to the City by operation of a special district.
- g. **"Entitlement"** means the type of land use permit required by the Buellton Municipal Code in connection with the Project for which approval is granted herein.
- h. **"Project"** means and includes all of the actions described in the Project Description above.
- i. **"Project Inspection"** means a field inspection and documentation review performed by the Planning Director at the time of Final Building Inspection Clearance to verify that the Project has been completed in full compliance with the terms and conditions of approval. The Project Inspection shall be performed upon completion of construction and the Project must be fully compliant with all terms and conditions of approval prior to and as a condition precedent to obtaining Final Building Inspection Clearance.
- j. **"Project Manager"** means person or personnel of the City assigned to oversee and administer the Permit including, but not limited to, compliance with the Mitigation Measures set forth herein.
- k. **"Property"** means the land and improvements identified in the Project Description.
- l. **"Property Owner"** means Michael B. Earl, FPA Flying Flags Associates, L.P., and includes all persons and entities possessing fee title (in full or in part) to the site of the Project.
- m. **"Zoning Clearance"** means approval granted pursuant to 19.08.100 of the Buellton Municipal Code requisite to issuance of a building permit for authorized construction or land development activities.

3. **Additional Permits Required.** Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the Applicant shall: (i) obtain a Zoning Clearance (hereinafter defined below); and (ii) obtain all other permits and approvals that may be

required by operation of the Buellton Municipal Code (e.g., grading permit, building permit, encroachment permit, etc.). Before any Zoning Clearance will be issued by the City, the Applicant must obtain written clearance from all departments having jurisdiction; such clearance shall indicate that the Applicant has satisfied all pre-construction conditions of approval. To the extent any condition or provision of the approval set forth herein is incompatible with or at variance with any other permit for the Project, the most restrictive condition and provision shall prevail.

4. **Interpretations and Exceptions.** The Planning Director is authorized to render decisions as to the applicability or interpretation of the conditions set forth herein, including minor changes, when the strict application of the conditions conflicts with the underlying purpose of the conditions or creates undue hardship or administrative burden. Any administrative change granted shall be subject to such conditions as will: (i) assure that the adjustment thereby authorized shall appropriately implement purposes and objectives of the original conditions; and (ii) not change or compromise the effectiveness of the original conditions. As an example, and for illustrative purposes only, the Planning Director may modify the implementation timing of specific conditions at the mutual convenience of the City and Applicant. Minor changes authorized pursuant to this condition shall not require separate processing of a formal amendment.
5. **Indemnity.** Applicant agrees, at its sole cost and expense, to defend, indemnify, and hold harmless the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul all, or any part, of the approval, decision or action of the City Council, Planning Commission, or other decision-making body, or staff action concerning the Project.
6. **Legal Challenge.** In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the Applicant in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided for by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action.
7. **Approval Limitations.** This approval is issued pursuant to the provisions of Title 19 of the Buellton Municipal Code and is subject to the foregoing conditions and limitations. Failure to comply with said conditions of approval may subject the Applicant to remedies and penalties specified in the Buellton Municipal Code.
8. **Enforcement Costs.** In the event the City determines that it is necessary to take legal action to enforce any of the conditions of approval herein, and such legal action is taken, the Applicant shall be required to pay any and all costs of such legal action, including reasonable attorney's fees, incurred by the City, even if the matter is not prosecuted to a final judgment or is amicably resolved, unless the City should otherwise agree with the Applicant to waive said fees or any part thereof.

9. **Failure to Comply.** In the event that the Applicant fails to comply with any order of the City issued hereunder or any injunction of the Superior Court, it shall be liable in accordance with the provision of Section 1.32 of the Buellton Municipal Code.
10. **Access to Records and Facilities.** As to any condition that requires for its effective enforcement the inspection of records or facilities by City or its agents, the Applicant shall make such records available or provide access to such facilities upon reasonable notice from City
11. **Payment of Fees.** All applicable fees associated with development of the Project shall be paid by the Applicant at the time such fees become payable as provided by Buellton Municipal Code or otherwise stipulated in this approval (whichever date is sooner), and the amount payable shall be based on the fee schedules adopted by the City and then in effect at the time such fees become payable.
12. **Acceptance of Conditions.** The Applicant shall acknowledge and agree to all conditions of this approval within 60 days of the notice of final action, evidenced by the Applicant's signature on the space provided at the end of this document. The Applicant shall record this document on title to the subject Property prior to or concurrently with the filing of a Zoning Clearance. The Applicant, and all successors or assignees, are responsible for complying with all conditions of approval. Any zoning violations concerning the installation, operation, and/or abandonment of the Project are the responsibility of the Applicant, and all successors or assignees.

B. PLANNING CONDITIONS

13. **FDP/Time Extension.** Approval of the Time Extension (Case No. 13-TE-03) (the "Permit") for 95-FDP-06 is granted to the Applicant for the Property as identified in the Project Description. Except or unless indicated otherwise herein, all driveways, parking areas, and other facilities or features shall be located and maintained substantially as shown on the exhibits accompanying the application for the Project.
14. **Development Time Frame.** Building construction must be started not later than one year after approval of the Time Extension, or if a Permit is issued within the one year period, construction must be diligently pursued thereafter, or this approval will be revoked pursuant to the Buellton Municipal Code. However, if the approved plans and adjacent areas are unchanged, the Planning Director may grant one additional 12-month extension of time for construction of the Project. Start of construction is defined as:
 - a. All zoning and related approvals are effective; and
 - b. All required building and grading permits have been issued; and
 - c. The "foundation inspection" and "concrete slab or under floor inspection" as defined in the California Building Code have been made and received

approval from the Department of Housing and Community Development, i.e., all trenches must be excavated, forms erected, and all materials for the foundation delivered on the job and all in-slab or under floor building service equipment, conduit, piping accessories and other ancillary equipment items must be in place. Nothing in this definition shall be construed to alter the applicable legal standards for determining when vested property rights have arisen.

15. **Zoning Clearance.** As a condition precedent to obtaining building permits, and prior to improving any portion of the Property or commencing any work pertaining to the Project approved herein, the Applicant shall obtain Zoning Clearance from the Planning Director. Zoning Clearance shall only be granted upon satisfying all conditions precedent to construction as stated in these conditions of approval.

16. **Performance Standards.** The design, operation, and use of the Project and Property shall comply with all outdoor storage, trash collection design, performance standards, landscaping requirements, and lighting provisions of the Buellton Municipal Code. All exterior lighting shall be located and designed so as to avoid creating substantial off-site glare, light spillover onto adjacent properties, or upward illumination into the sky. In addition, the Property shall be maintained in strict compliance with the following additional standards:
 - a. **Use Limitations.** No building or other improvement upon the Property shall be constructed, maintained, or used for any purpose other than that which is allowed by the Buellton Municipal Code or otherwise stipulated in the conditions of approval herein. Furthermore, the Property shall be maintained in strict compliance with the following additional standards:
 - (1) **Unobstructed Access.** All driveways and areas designated for off-street parking shall remain accessible at all times. Except as allowed by revocable license approved by the City, parking shall not be allowed on driveways at any time.
 - (2) **Vehicle Repair.** No disassembly, repair or any other work shall be performed on any vehicle, machine, motor, appliance or other similar device shall be allowed on any portion of the Property except or unless such work and device is wholly removed from public view.
 - (3) **Exterior Storage.** No storage of any goods, materials or equipment shall be permitted on the Property except within the confines of fully enclosed buildings or as approved in the Final Development Plan.
 - b. **Prohibited Activities.** No person owning, leasing, occupying or having charge or possession of the Property, or any portion thereof, shall maintain

or use the premises in such a manner that any of the following conditions are found to exist:

- (1) Fire and Explosion Hazards. Storage and transportation of flammable or explosive materials, as defined by the County of Santa Barbara Fire Department, which are provided without adequate safety devices against the hazard of fire and explosion and adequate firefighting and fire-suppression equipment and devices, standard in the industry.
- (2) Fissionable, Radioactivity or Electrical Disturbance. Storage or use of fissionable or radioactive material, if their use or storage results at any time in the release or emission of any fissionable or radioactive material into the atmosphere, the ground, or sewage systems, or any activities which emit electrical disturbances, affecting the operation at any point of any equipment other than that of the creator of such disturbance.
- (3) Glare, Humidity, Heat and Cold. Direct or sky-reflected glare, whether from floodlights or from high temperature processes, or humidity, heat or cold that is produced and is perceptible without instruments by the average person at the Property line.
- (4) Liquid and Solid Wastes. Discharge at any point into any public sewer, private sewage disposal system, or stream, or into the ground, of any material of such nature or temperature as can contaminate any water supply, interfere with bacterial processes in sewage treatment, or otherwise cause the emission of dangerous or offensive elements, except in accordance with standards approved by the California Department of Public Health or such other governmental agency as shall have jurisdiction over such activities.
- (5) Odors. Emissions of odorous gases or other odorous matter that is produced in nuisance quantities at the Property line.
- (6) Particulate Matter and Air Contaminants. Emissions, including but not limited to, fly ash, dust, fumes, vapors, gases, and other forms of air contaminants which are produced from any facility or activity which are readily detectable without instrument by the average person at the Property line which can cause any damage to health, animals, vegetation or other forms of property, or which can cause excessive soiling at any point.
- (7) Vibration. Ground vibration that is produced and is discernible without instruments to the average person at the Property line. Ground vibration caused by motor vehicles, trains, aircraft, and

temporary construction or demolition work is exempted from this standard.

- (8) Prohibition of Dangerous Elements. Land or buildings which are used or occupied in any manner so as to create any dangerous, noxious, injurious or otherwise objectionable fire, explosive or other hazard; noise or vibration; glare; liquid or solid refuse or waste; or other dangerous or objectionable substance, condition, or element in such a manner or such an amount as to adversely affect other uses.
 - (9) Noise. Unless otherwise provided for, no person shall operate or cause to be operated any source of sound at or on the Property, or allow the creation of any noise on the Property owned, leased, occupied or otherwise controlled by such person which causes the noise level when measured on any receiving property to exceed the noise level limits set forth by the Buellton Municipal Code as adopted and amended.
17. **Fire Department.** The Project is located within the jurisdiction of the County Fire Department and shall comply with all applicable standards of that agency.
 18. **Building Codes.** All building construction shall be designed and performed in accordance with the currently adopted California Building Code, and all other appropriate sections of the Buellton Municipal Code, State of California energy conservation standards, Title 24 handicap accessibility standards and Title 25 regulations. The State Department of Housing and Community Development shall have jurisdiction for building code review and inspection. All necessary plans and documentation shall be submitted at time of plan check including, but not limited to, complete architectural plans and appropriate engineering calculations prepared by a California Licensed Architect or Engineer.
 19. **Grading and Drainage.** All building construction, grading and drainage shall be designed and performed in accordance with the currently adopted Excavation and Grading Code and all other appropriate sections of the Buellton Municipal Code and Santa Barbara Flood Control Design Standards dealing with grading, drainage and public improvements. Prior to construction, necessary plans and documentation shall be submitted for review and approval by the City Engineer including, but not limited to, complete civil engineering drawings, public improvement plans, utility specifications and appropriate engineering calculations prepared by a California Registered Civil Engineer.
 20. **Final Occupancy Clearance.** No Final Building Inspection Clearance or release of occupancy will be granted for any building on the Property until all construction is completed in accordance with the plans approved and the conditions specified herein. Exceptions to this requirement may be granted subject to: (i) approval of the City Engineer and Planning Director; (ii) assurance that unfinished items will be completed

- within a reasonable period of time (including, but not limited to, the posting of appropriate performance security to assure such completion); (iii) essential infrastructure necessary to serve the entire Project is fully installed; and (iv) public safety and convenience is appropriately protected. This condition only applies to the buildings, not to the public improvements associated with the tentative tract map.
21. **Property Maintenance.** The Project and Property, including the landscaping, shall be maintained in a continuous state of good condition and repair, in full compliance with all approved plans, specifications and conditions of approval. Corrective improvements shall be undertaken as necessary to continuously conform with and implement conditions of Project approval including, as applicable, repair, repainting and/or replacement of Project components as needed. Where a Project is found to be non-compliant, the Applicant shall adhere to City recommendations to bring the Project into compliance.
 22. **Community Design Guidelines/Architecture.** The Project shall be in conformance with the Community Design Guidelines. The design details and color of the Agrarian style architecture shown on the project plans shall be installed and maintained.
 23. **Landscape Surety.** Prior to issuance of a building permit, a surety for installation of the landscaping and irrigation, and for maintenance for one year, shall be posted in a form acceptable to the City. The surety estimate shall be submitted as part of the building permit submittal.
 24. **Landscape Installation.** Prior to obtaining Final Building Inspection Clearance, all landscaping and irrigation shall be completed and fully installed in accordance with the approved landscape plan submitted as part of the building plans. A letter from the landscape architect shall be submitted verifying compliance with the plans. The landscape and irrigation surety, less the one year maintenance portion, can be released at this time.
 25. **Landscape Maintenance.** Following installation, all landscaping shall be continuously maintained thereafter for a period of not less than one year or until such time that all plant material has been completely established. The Planning Director shall inspect or cause to be inspected all landscaped areas after the one year maintenance period. If the landscaping is healthy and established, the one year maintenance portion of the surety may be released.
 26. **Landscape Maintenance Agreement.** The Applicant shall acknowledge and sign the City's Landscape and Maintenance Agreement prior to issuance of the building permit. The Applicant, and all successors or assignees, are responsible for complying with all conditions of the Agreement. Any violations of the Landscape and Maintenance Agreement may result in Code Enforcement action.
 27. **Lighting.** All new exterior lighting fixtures shall comply with the design requirements of the Community Design Guidelines and shall protect dark skies. All lighting shall be LED or Inductive technology or other energy efficient type of lighting.

28. **Parking.** 164 parking spaces shall be maintained at all times. This includes 118 camp site spaces and 46 visitor parking spaces. All visitor parking spaces shall be striped in accordance with City of Buellton standards prior to issuance of the occupancy permit.
29. **River Setback.** The setback from the top of bank of the Santa Ynez River is 200 feet. Any structures for permanent residential occupancy are not permitted within the setback. Parking spaces, camp sites for transient occupants, and restroom buildings as shown on the plans are permitted within the setback.

C. ENGINEERING CONDITIONS

PRIOR TO GRADING PERMIT ISSUANCE:

30. Applicant shall cause to be prepared by a Civil Engineer, registered in the State of California, grading and utilities improvement plans, including, but not limited to, street, water, sewer, and storm drain improvements. An engineering cost estimate shall be submitted with the grading and improvement plans along with any calculations, signed/stamped certifications and plan check processing fees.
31. Plans for the frontage improvements shall be drawn by a California Registered Civil Engineer. Drawings shall be prepared on 24-inch by 36-inch mylar (4 mil) showing all proposed improvements including, but not limited to, curbs, gutters, sidewalks, paving, driveway cuts, storm drains, street lights, utilities, and street trees.
32. At the time that Improvement Plans and/or Grading and Drainage Plans are submitted for review and approval by the City Engineer, two copies of a Soils Report, prepared by a California Registered Geologist or Soils Engineer, shall be submitted. The Report shall address soils engineering and compaction requirements, R-values, and other soils and geology related issues (including liquefaction) and shall contain recommendations as to foundation design, and paving sections, where applicable for the project.
33. Erosion Control Plans shall be completed and submitted to the City Engineer for review and approval. Appropriate BMP measures shall be undertaken at *all* times. This shall be in compliance with the Regional Water Quality Control Board requirements. NOI shall be filed. A SWPPP shall be developed for the project site by a certified QSD, draft copy shall be submitted for review prior to issuance of the grading permit. SWPPP shall be on-site at all times. Implementation shall be performed by a QSP.
34. At the time that Improvement and/or Grading and Drainage Plans are submitted for review and approval by the City Engineer, a complete hydrology/hydraulic report shall be submitted by the applicant's engineer determining the adequacy of the proposed drainage system and the adequacy of the existing downstream system. A rain fall frequency of twenty-five (25) years shall be used for sizing piping and inlet structures. If no overland escape is available, 100-year flows shall be used as the basis of design. Santa Barbara County Engineering Design Standards shall be used. In addition, the report shall discuss the required stormwater management plan requirements and the LID proposed for compliance. CASQA Manuals and Guidelines shall be used for references.

35. Development shall be undertaken in accordance with conditions and requirements of the State of California Regional Water Quality Control Board. Project Grading and Storm Drain Improvement Plans shall identify and incorporate Best Management Practices (BMPs) appropriate to the uses conducted on-site and during construction to effectively mitigate storm water pollution during construction as well as post-construction.
- Stormwater management shall be incorporated in the improvement plans (low impact development). Pre and post development hydrology shall be consistent, considering flow volume and discharge. Design measures that minimize storm water run-off shall be incorporated. When possible, grading and drainage shall be designed so that the Effective Impervious Area is minimized. Examples include curb openings integration to enable run-off direction towards landscaped areas and impervious surfaces for infiltration. A maintenance/water quality control plan shall be submitted and include an owner's statement that maintenance of facilities will occur regularly (at least twice annually) and will be ongoing. The plan shall include an annual maintenance report which must be signed/certified by the QSD/QSP, property owner and contractor and submitted to the Public Works Department.
36. Applicant shall submit improvement plans for concurrent review with the Santa Barbara County Fire Department and shall provide documentation of submittal along with grading and utility improvement plans to the City Engineer. A copy of the Fire Department approval shall be submitted prior to issuance of grading permit.
37. Driveway, sidewalk and any other improvements made within the public right-of-way shall be shown on a separate sheet. These improvements shall utilize City of Buellton standard details and provide for ADA access.
38. Upon approval of the final plans, the applicant shall furnish original stamped mylars to the City Engineer for signature and reproduction for permitting purposes. A final Engineer's estimate shall be prepared (updated from the original submittal and shall utilize prevailing wage rates) and permit/inspection fees paid.
39. A faithful performance and labor/material bond for the grading and utilities (each to be equal to 100% of the final City Engineer's estimate of costs, which shall include a 20% contingency), or equivalent form of guarantee, shall be posted by the applicant. The bonds shall remain in effect until the completion of the project and a certificate of occupancy has been issued, at which time, 10% of the bond shall be retained for a warranty period of 1 year after the City has approved a Notice of Completion and after receipt/approval of the As-built Record Drawings.
40. A geotechnical engineer or geologist licensed in the State of California shall provide guidance during grading operations and shall certify constructed pads and ensure all mitigation measures are properly implemented. Certifications and final reports shall be submitted to the City Engineer for approval.
41. Plans shall depict all flood hazard limits and design plans accordingly. Appropriate FEMA documentation shall be filed accordingly.

42. Public Water line and easement will need to be relocated to the satisfaction of the public works director. Public line shall complete loop. Service lines shall be private.

PRIOR TO BUILDING PERMIT ISSUANCE:

43. The applicant shall obtain a grading permit from the City Engineer prior to obtaining a building permit.
44. Rough grading certification by the geotechnical engineer shall be approved by the City Engineer prior to obtaining a building permit.
45. The applicant shall obtain an industrial waste discharge permit, as applicable, from the City Public Works Department prior to obtaining a building permit.
46. Applicant shall dedicate an easement for trail purposes to the City of Buellton with a minimum width of 20 feet in the area south of the active Flying Flags RV Park and Camp Sites but above the active Santa Ynez Riverbed. Final location shall be approved by the Applicant, Public Works Director and the City Manager. Design shall provide safeguards to protect habitat, wildlife and water quality. Applicant shall support the River Trail development process and be an active advocating partner.

PRIOR TO OCCUPANCY CLEARANCE:

47. The applicant shall complete all required improvements to the satisfaction of the City Engineer. The applicant shall furnish the mylar or a reproducible copy of the improvement plans to the City Engineer, modified to reflect field changes made during construction and stamped "As-Built Record Drawings."
48. The applicant shall pay water and sewer utilities fees from the Public Works Department prior to occupancy. In addition, all pretreatment and FOG compliance requirements must be in place prior to payment of water/sewer fees and occupancy.

GENERAL CONDITIONS:

49. Unless superceded by Caltrans all public improvements shall be designed and constructed in conformance with The City of Buellton Standards, and when applicable, the Santa Barbara County Standards.
50. Existing and proposed easements for all utilities shall be located and described on the engineering plans.
51. All utilities shall be shown on the plans. Proposed water and sewer lines shall be highlighted. Lines on-site shall be maintained as private.

D. FIRE DEPARTMENT CONDITIONS

52. **Certificates.** Fire Protection Certificate(s) will be required.

- 53. **Access Ways.** Access shall be as shown on plans dated October 17, 2013.
- 54. **Fire Hydrants.** One new fire hydrant shall be installed.
 - The fire department shall have on file a set of approved fire hydrant plans prior to any work being started.
 - Fire hydrants shall be located per fire department specifications and shall flow 1250 gallons per minute at a 20 psi residual pressure.
 - Commercial fire hydrants shall consist of one 4-inch outlet and two 2-1/2-inch outlets.
 - A set of approved fire hydrant plans, stamped and dated by the fire department shall be kept at the job site and available upon request.
 - Water systems shall be installed exactly as the approved fire hydrant plans dictate. No changes or modifications to these plans shall take place without prior fire department approval.
 - No work shall be covered or otherwise rendered inaccessible or unviewable prior to inspection by a fire department representative.
- 55. **Signs.** Signs indicating "Fire Lane – No Stopping" shall be placed every 150 feet as required by the fire department. Refer to current adopted California Fire Code.
- 56. **Changes.** These conditions apply to the project as currently described. Future changes, including but not limited to further division, change of occupancy, intensification of use, or increase in hazard classification, may require additional mitigation to comply with applicable development standards in effect the time of change.

E. FINANCE DEPARTMENT CONDITIONS

- 57. **Outstanding Fees.** The Applicant shall pay all fees including, but not limited to, outstanding balances for processing by the City Engineer, Planning Department, Fire Department mitigation fees, and any additional processing deposits as required prior to zoning clearance.
- 58. **Impact Fees.** The project applicant shall pay the water, sewer, school and traffic impact fees in accordance with City requirements.

Project Applicant/Property Owner Acknowledgement of Required

 Property Owner Signature


 Project Applicant/Agent/Representative Signature

 Date
 3/27/14

 Date



NOTICE OF DETERMINATION

2014 MAR 28 PM 4: 37

COUNTY OF SANTA BARBARA
CLERK OF THE
SUPERIOR COURT
PLANNING DEPARTMENT
P.O. Box 1819
Buellton, CA 93427

To: Office of Planning and Research
P.O. Box 3044
Sacramento, CA 95812

 Clerk of the Board
County of Santa Barbara
105 East Anapamu Street, RM 407
Santa Barbara, CA 93101

From: City of Buellton
Planning Department
P.O. Box 1819
Buellton, CA 93427

Subject: Filing of Notice of Determination in compliance with Section 21108 or 21152 of the Public Resources Code.

Flying Flags Time Extension – Time Extension (13-TE-03) and Negative Declaration (13-ND-02)

Project Title and File Numbers

n/a

State Clearinghouse Number (if applicable)

Marc P. Bierdzinski, Planning Director, 805-688-7474

Lead Agency Contact Person and Telephone Number

City of Buellton, County of Santa Barbara

Project Location (including County)

The Project consists of a Time Extension (13-TE-01) for a Final Development Plan that includes the development of a second swimming pool with a pavilion, 56 RV camp sites (combination of full hookup, partial hookup, and no hookup RV/tent spaces), 38 parking spaces, two restroom buildings, paved roads and a sports/recreation field at the existing Flying Flags Recreational Vehicle Resort.

Project Description

This is to advise that the City of Buellton as the Lead Agency has approved the above described project on October 24, 2013 and has made the following determinations regarding the project:

1. The project will will not have a significant effect on the environment.
2. An environmental impact report was prepared for this project pursuant to the provisions of CEQA.
 A negative/mitigated negative declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures were were not made conditions of approval of the project.
4. A statement of overriding considerations was was not adopted for this project.
5. Findings were were not made pursuant to the provisions of CEQA.

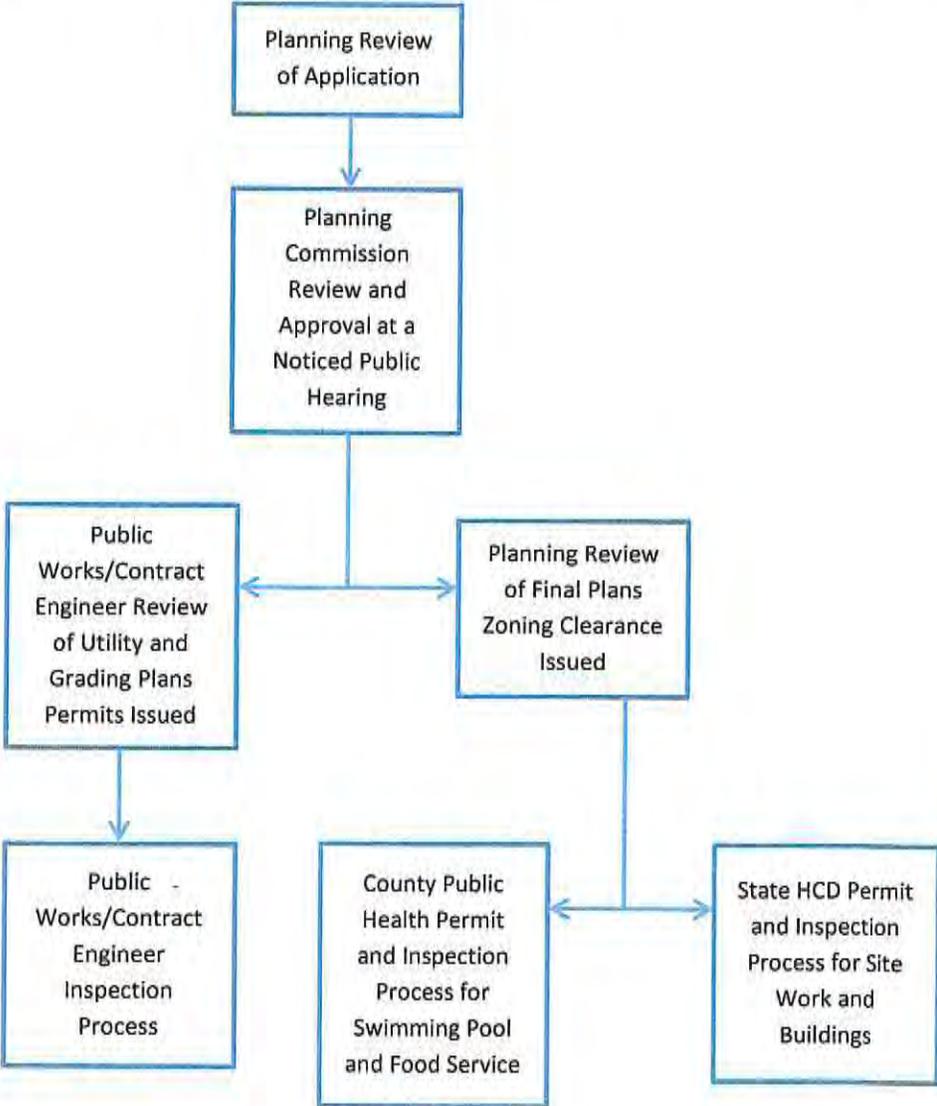
This is to certify that the negative declaration/mitigated negative declaration/EIR and record of project approval is available to the general public at: City of Buellton Planning Department, 107 West Highway 246, Buellton, CA 93427

Marc P. Bierdzinski
Signature

March 25, 2014
Date

City Manager/Planning Director
Title

Buellton Permit Process
Flying Flags Project
Same Process for Both a Time Extension and Final Development Plan



Flying Flags Comparison Time Extension Versus Final Development Plan

6-2-2016

Time Extension	Final Development Plan
Initial Deposit: Time Extension = \$390 Negative Declaration = \$445 Total = \$835	Initial Deposit: Final Development Plan = \$4,500 Negative Declaration = \$445 Total = \$4,945
Staff Costs for Planning Commission Process: Planning = \$1,223 Engineering = \$4,125 Attorney = \$220.50 Total = \$5,568.50	Staff Costs for Planning Commission Process: Planning = \$1,223 Engineering = \$4,125 Attorney = \$220.50 Total = \$5,568.50
Net = \$4,733.50 owed to City	Net = \$623.50 owed to City
Applicant's Deposit for Plancheck Process = \$34,935.91	Applicant's Deposit for Plancheck Process = \$34,935.91
Amount of Deposit less Amount Owed to City = \$30,202.41	Amount of Deposit less Amount Owed to City = \$34,312.41
City Engineering Plancheck and Inspection Costs = \$24,006.25	City Engineering Plancheck and Inspection Costs = \$24,006.25
Remaining City Deposit Balance = \$6,196.16 Balance to be Refunded to Applicant	Remaining City Deposit Balance = \$10,306.16 Balance to be Refunded to Applicant
Amount Paid to City: \$29,574.75	Amount Paid to City: \$29,574.75

CITY OF BUELLTON

AGREEMENT FOR PAYMENT OF PROJECT APPLICATION PROCESSING FEES

(Note - This Agreement not needed for Zoning Clearance or Land Use Exemption)

FILL OUT COMPLETELY

TYPE OR PRINT

- 1. Property Owner: Name: FPA FLYING FLAGS, LP Mailing Address: 180 AVE OF FLAGS BUELLTON, CA 93427 Phone: 805-688-3716
2. Agent: Name: Dan Bowman Mailing Address: 180 AVE OF FLAGS BUELLTON, CA 93427 Phone: 805-688-3716

- 3. Party responsible for payment: (check one) [X] OWNER [] AGENT [] OTHER (If other is checked fill out below) Name: Mailing Address: (city) (state) (zip)

- 4. Project address: 180 AVE OF FLAGS 5. APN: 137-200-085
6. Application/file reference number: 13-TE-03, 13-ND-02

As the responsible person or party, I hereby agree that the administrative, file storage and material costs incurred in the processing of the applications for the above referenced project will be paid to the City of Buellton. I understand that the deposit I am herewith submitting is for average processing costs and that any additional amount will be billed to me directly. I agree that such additional fees will be paid either: (1) prior to the hearing on the applications, if required by the City at that time and/or, (2) prior to the issuance of a final land use clearance by the City. In the event I withdraw the application, I understand that I will be billed for any outstanding amount, which I agree to pay within thirty (30) days of the billing notice. If not paid within thirty (30) days any amount due the City will bear interest at the highest legal rate. I agree to pay any attorney's fees incurred by the City in collecting said fees. I also understand that if the deposit amount has not been exceeded, I will receive a refund of the remaining amount.

Signed: [Signature] Date: 11/8/13
(check one): [] Owner [X] Agent [] Other



Flying Flags Expansion
 Project Number:

TYLER:
 90016

Fundware (Legacy)
 126

Initial Plan Check Deposit - October 2013
 Planning Code(s):

13-TE-03, 13-ND-02

Date	Description	Vendor	Inv/Chk#	Expense	Credit	Balance	Statement Date
10/2/2013	Project Application -		Chk#9574		835.00	835.00	6/30/2014
2/1/2014	Legal Fees	Burke, Wms & Sorenson	Inv#175003	COB Inv#1100	171.50	663.50	6/30/2014
3/1/2014	Legal Fees	Burke, Wms & Sorenson	FW Ref#21975	COB Inv#1100	49.00	614.50	6/30/2014
5/1/2014	Engineering Services	MNS	FW Ref #22420	COB Inv#1100	2,640.00	(2,025.50)	6/30/2014
6/1/2014	Engineering Services	MNS	Inv#64551	COB Inv#1100	1,485.00	(3,510.50)	6/30/2014
6/30/2014	Planning Hours	Planning Dept		COB Inv#1129	1,223.00	(4,733.50)	6/30/2014
9/30/2014	COB Credit Memo # 1131	Eng Plan Chk/Insp Fee	Chk#11037		34,935.91	30,202.41	10/8/2014
7/14/2014	Engineering Services	MNS	FW Ref#22818	COB Inv#1138	3,125.00	27,077.41	11/17/2014
8/14/2014	Engineering Services	MNS	FW Ref#23110	COB Inv#1138	1,250.00	25,827.41	11/17/2014
9/14/2014	Engineering Services	MNS	FW Ref#23202	COB Inv#1138	2,250.00	23,577.41	11/17/2014
11/21/2014	Engineering Services	MNS	Inv#64924	COB Inv#2252016-126	375.00	23,202.41	2/29/2016
1/21/2015	Engineering Services	MNS	Inv#65131	COB Inv#2252016-126	375.00	22,827.41	2/29/2016
2/21/2015	Engineering Services	MNS	Inv#65225	COB Inv#2252016-126	4,700.00	18,127.41	2/29/2016
3/13/2015	Engineering Services	MNS	Inv#65290	COB Inv#2252016-126	1,750.00	16,377.41	2/29/2016
4/21/2015	Engineering Services	MNS	Inv#65440	COB Inv#2252016-126	6,406.25	9,971.16	2/29/2016
3/19/2015	Engineering Services	MNS	Inv#65599	COB Inv#2252016-126	375.00	9,596.16	2/29/2016
6/23/2015	Engineering Services	MNS	Inv#65707	COB Inv#2252016-126	250.00	9,346.16	2/29/2016
3/28/2016	Engineering Services	MNS	Inv#66798	COB Inv#03312016-126	500.00	8,846.16	5/2/2016
4/21/2016	Engineering Services	MNS	Inv#66919	COB Inv#04302016-126	2,650.00	6,196.16	6/2/2016

PROJECT #90016 HAS A CREDIT BALANCE OF \$6,196.16 as of 6/2/2016



City of Buellton, CA

Project Activity Report By Project Number

Report Dates: -

Project Number	Project Name	Group	Type	Status
90016	Flying Flags Expansion	Private Projects	Private Projects	Active
Revenues				
Account Key	Account Name	Category		Total Activity
90016001	Deposit Revenue	Deposit - Deposit		-23,577.41
GL Account Number	GL Account Name	Post Date	Description	Vendor Name
NO GL ACCOUNT		11/17/2014	Balance Forward from 11/17/2014 Billing Statement	
				Item Number
				Activity
				-23,577.41
				Full Total:
				-23,577.41
				Total Revenues:
				-23,577.41
Expenses				
Account Key	Account Name	Category		Total Activity
90016002	Planning Salary	Labor - Labor		0.00
GL Account Number	GL Account Name	Post Date	Description	Vendor Name
001-23015	Developer Deposit	02/29/2016	Staffing chgs Pvt Projects - 7/1 - 2/2016	
001-56550000	Salaries	02/29/2016	Staffing chgs Pvt Projects - 7/1 - 2/2016	
				Item Number
				Activity
				100.00
				-100.00
				Full Total:
				0.00
90016000	Contracted Services	Contracted Services - Contracted Services		17,381.25
GL Account Number	GL Account Name	Post Date	Description	Vendor Name
NO GL ACCOUNT		11/21/2014	MNS Engineers Inc-Inv#64924-Engineering Develop.	
NO GL ACCOUNT		01/21/2015	MNS Engineers Inc-Inv#65131-Engineering Develop.	
NO GL ACCOUNT		02/21/2015	MNS Engineers Inc-Inv#65225-Engineering Develop.	
NO GL ACCOUNT		03/13/2015	MNS Engineers Inc-Inv#65290-Engineering Develop.	
NO GL ACCOUNT		03/19/2015	MNS Engineers Inc-Inv#65599-Engineering Develop.	
NO GL ACCOUNT		04/21/2015	MNS Engineers Inc-Inv#65440-Engineering Develop.	
NO GL ACCOUNT		06/23/2015	MNS Engineers Inc-Inv#65707-Engineering Develop.	
001-22410	Developer Deposit	03/28/2016	Flying Flags RV Resort Expansion	MNS ENGINEERS, INC.
001-22410	Developer Deposit	04/21/2016	#126- Flying Flags RV Resort Expansion	MNS ENGINEERS, INC.
				Item Number
				Activity
				375.00
				375.00
				4,700.00
				1,750.00
				375.00
				6,406.25
				250.00
				500.00
				2,650.00
				Full Total:
				17,381.25
				Total Expenses:
				17,381.25
				90016 Total:
				-6,196.16

Project Summary

Project Number	Project Name	Total Revenue	Total Expense	Revenue Over/ (Under) Expenses
90016	Flying Flags Expansion	23,577.41	17,381.25	6,196.16
Project Totals:		23,577.41	17,381.25	6,196.16

Group Summary

Group	Total Revenue	Total Expense	Revenue Over/ (Under) Expenses
Private Projects	23,577.41	17,381.25	6,196.16
Group Totals:	23,577.41	17,381.25	6,196.16

Type Summary

Type	Total Revenue	Total Expense	Revenue Over/ (Under) Expenses
Private Projects	23,577.41	17,381.25	6,196.16
Type Totals:	23,577.41	17,381.25	6,196.16



PROJECT APPLICATION FORM
CITY OF BUELLTON
PLANNING DEPARTMENT

RECEIVED

JUN 19 2014

CITY OF BUELLTON
Planning Department

PROJECT LOCATION 180 AVE OF FLAGS
(Address)

SITE ZONING CR SITE ASSESSOR'S PARCEL NO. 137-200-085

PROJECT DESCRIPTION Expansion of RV sites, foot and
camping AREAS, and one restroom building
(Attach additional sheets if necessary)

PERMITS AND APPROVAL REQUESTED

- ANNEXATION
- GENERAL PLAN AMENDMENT/REZONING
- SPECIFIC PLAN
- ZONING ORDINANCE TEXT AMENDMENT
- FINAL DEVELOPMENT PLAN
- PRELIMINARY DEVELOPMENT PLAN
- DEVELOPMENT PLAN MODIFICATION
- CONDITIONAL USE PERMIT
- MINOR USE PERMIT
- USE PERMIT MODIFICATION
- LOT LINE ADJUSTMENT
- SECONDARY DWELLING UNIT

- VARIANCE
- SUBDIVISION (TENTATIVE TRACT MAP)
- SUBDIVISION (TENTATIVE PARCEL MAP)
- CONDOMINIUM CONVERSION
- ZONING CLEARANCE July 11, 2014
- CONCEPTUAL REVIEW Date
- LAND USE EXEMPTION
- SIGN APPROVAL
- TEMPORARY USE PERMIT/SPECIAL EVENTS
- APPEAL By
- OTHER
- HOME OCCUPATION

APPROVED
CITY OF BUELLTON
PLANNING DEPARTMENT

The City charges 100% of its costs of processing to the applicant. Prior to receiving any permits, applicant shall reimburse City for all processing costs. The City will review the application for completeness and will notify the applicant within 30 days of submittal of a complete or incomplete application.

AUTHORIZATION: I, _____, HEREBY AUTHORIZE _____
TO ACT AS MY AGENT AND TO BIND ME IN ALL MATTERS CONCERNING THIS APPLICATION.

PROPERTY OWNER CONTACT INFORMATION

Name DAN BAUMANN (Please Print)
Phone 805-688-3716
Address 180 AVE OF FLAGS
BUELLTON, CA 93427
E-Mail dan@flyingflags.com

Dan 6/19/14
Property Owner Signature (Required) Date

I DECLARE THAT I AM THE APPLICANT, OWNER, LESSEE, OR ATTORNEY OF THE OWNER, AGENT, OR PERSON WITH THE POWER OF ATTORNEY FROM THE OWNER OF THE ABOVE PROPERTY INVOLVED IN THIS APPLICATION, AND THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND ACCURATE.

THIS DECLARATION IS ALSO INTENDED TO APPLY TO ALL TRANSACTIONS WITH THE SANTA BARBARA COUNTY PLANNING AND DEVELOPMENT DEPARTMENT RELATED TO BUILDING PERMIT ISSUANCE.

AGENT CONTACT INFORMATION

Name _____ (Please Print)
Phone _____
Address _____
E-Mail _____

Applicant Signature _____ Date _____

Please see important information regarding
Disability Access Laws on the back of this form.

OFFICIAL USE ONLY
Application Fee/ Deposit Received: 6/19/14
Payment Processing Agreement Rec'd 6/19/14
C&D Application Received: 6/19/14



MEMORANDUM

May 19, 2016

To: Dan Baumann, Flying Flags RV Resort

Cc: Sid Goldstien, Agent
Marc Bierdzinski, City Manager
Rose Hess, City Engineer

From: Andrea Olson
Assistant Planner

Re: Phase II Zoning Clearance
Flying Flags Time Extension (13-TE-03), APN 137-200-085
City of Buellton
Owner: Flying Flags RV Resort

Zoning Clearance approval is hereby given by the City of Buellton Planning Department for Phase II of the Time Extension (13-TE-03). The approved plans are date stamped May 19, 2016.

This approval includes the addition of a sports field, one additional swimming pool and spa, pool pump room, pool restroom building, 6 pool cabanas, and 18 additional parking spaces. The architecture of the restroom building shall match the elevations on the restroom building plans approved on February 16, 2016.

Minor modifications to the Planning Commission-approved plans have been made. These modifications include; the location of the restroom building and pool pump room, the addition of 18 parking spaces beyond the 38 spaces that were required as part of the Time Extension, and 6 pool cabanas. These modifications are minor, and the plans are in substantial conformance with the Planning Commission approval, and therefore can be approved as part of Phase II.

Any additions to the site beyond what is listed above will require Development Plan approval by the Planning Commission.

If you have any questions, please contact me at (805) 686-7432.

Thank you,

Andrea Olson, Assistant Planner



PROJECT APPLICATION FORM
CITY OF BUELLTON
PLANNING DEPARTMENT

RECEIVED

MAY 1 2016

CITY OF BUELLTON
Planning Department

PROJECT LOCATION 180 Avenue of Flags
(Address)

SITE ZONING CR SITE ASSESSOR'S PARCEL NO. 137-200-085

PROJECT DESCRIPTION addition of Sports field, Events Pavilion

Pool, Pump room, Pool bath rooms, 6 pool cabanas
18 parking spaces (Attach additional sheets if necessary)

PERMITS AND APPROVAL REQUESTED CASE NUMBER: 16-ZC-36

- ANNEXATION
GENERAL PLAN AMENDMENT/REZONING
SPECIFIC PLAN
ZONING ORDINANCE TEXT AMENDMENT
FINAL DEVELOPMENT PLAN
PRELIMINARY DEVELOPMENT PLAN
DEVELOPMENT PLAN MODIFICATION
CONDITIONAL USE PERMIT
MINOR USE PERMIT
USE PERMIT MODIFICATION
LOT LINE ADJUSTMENT
SECONDARY DWELLING UNIT

- VARIANCE
SUBDIVISION (TENTATIVE TRACT MAP)
SUBDIVISION (TENTATIVE PARCEL MAP)
CONDOMINIUM CONVERSION
ZONING CLEARANCE
CONCEPTUAL REVIEW
LAND USE EXEMPTION
SIGN APPROVAL
TEMPORARY USE PERMIT/SPECIAL EVENTS
APPEAL
OTHER
HOME OCCUPATION

APPROVED
Date: May 19, 2016
By: [Signature]
City of Buellton
Planning Department

The City charges 100% of its costs of processing to the applicant. Prior to receiving any permits, applicant shall reimburse City for all processing costs. The City will review the application for completeness and will notify the applicant within 30 days of submittal of a complete or incomplete application.

AUTHORIZATION: I, _____, HEREBY AUTHORIZE _____ TO ACT AS MY AGENT AND TO BIND ME IN ALL MATTERS CONCERNING THIS APPLICATION.

PROPERTY OWNER CONTACT INFORMATION
Name Flying Flags R.V. Resort
Phone 805-688-3716
Address 180 Avenue of Flags
Buellton, CA 93427
E-Mail dane@flyingflags.com

(Please Print)
Property Owner Signature (Required)
Date

I DECLARE THAT I AM THE APPLICANT, OWNER, LESSEE, OR ATTORNEY OF THE OWNER, AGENT, OR PERSON WITH THE POWER OF ATTORNEY FROM THE OWNER OF THE ABOVE PROPERTY INVOLVED IN THIS APPLICATION, AND THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND ACCURATE.
THIS DECLARATION IS ALSO INTENDED TO APPLY TO ALL TRANSACTIONS WITH THE SANTA BARBARA COUNTY PLANNING AND DEVELOPMENT DEPARTMENT RELATED TO BUILDING PERMIT ISSUANCE.

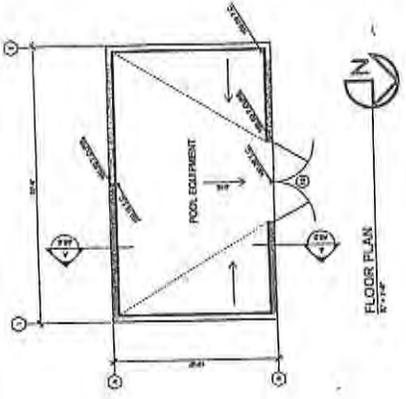
AGENT CONTACT INFORMATION
Name _____ (Please Print)
Phone _____
Address _____
E-Mail _____

Applicant Signature _____ Date _____

Please see important information regarding Disability Access Laws on the back of this form.

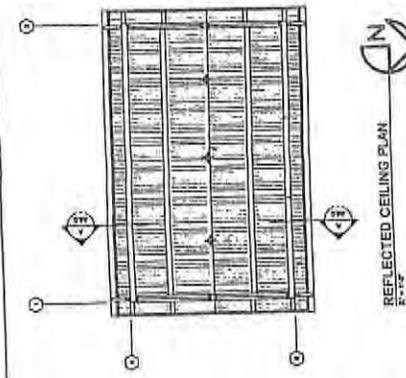
OFFICIAL USE ONLY
Application Fee/ Deposit Received: _____
Payment Processing Agreement Recd: _____
C&D Application Received: _____

*Phase II *Restroom plans on shelf



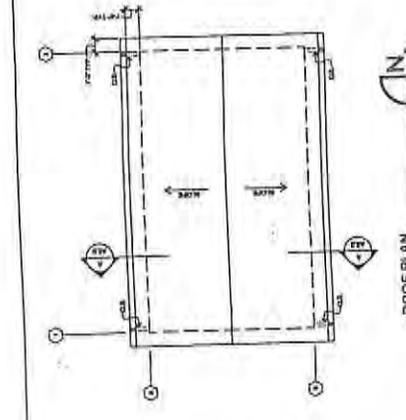
FLOOR PLAN NOTES

1. UNANNOUNDED
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
4. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
5. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
6. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
7. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
8. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
9. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
10. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

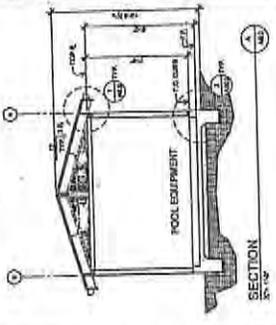


REFLECTED CEILING PLAN LEGEND

- REFLECTED CEILING LIGHT



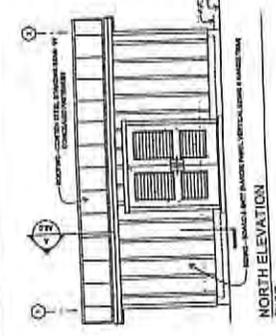
ROOF PLAN



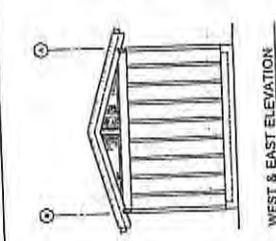
SECTION 2'-0" x 1'-0"

EXTERIOR FINISH NOTES

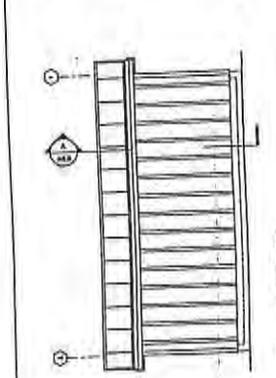
1. ROOFING MATERIAL - CENTRAL STEEL COMPACTED ANGLES, 1/2" x 3" x 3" x 1/4"
2. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
3. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
4. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
5. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
6. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
7. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
8. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
9. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"
10. FLASHING - 30 YEAR SERVICE, 1/2" x 3" x 3" x 1/4"



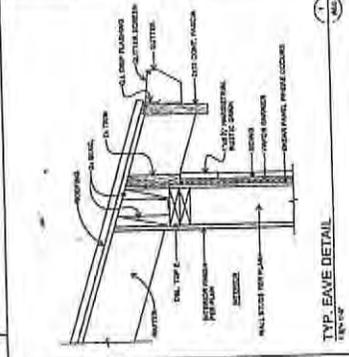
NORTH ELEVATION 8'-0" x 8'-0"



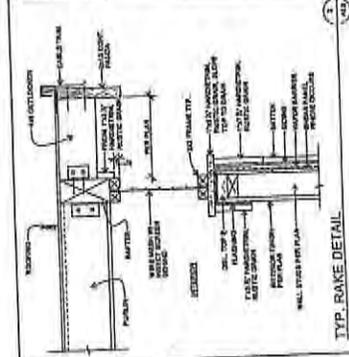
WEST & EAST ELEVATION 8'-0" x 8'-0"



SOUTH ELEVATION 8'-0" x 8'-0"



TYP. EAVE DETAIL 1'-0" x 1'-0"



TYP. RAKE DETAIL 1'-0" x 1'-0"

APPROVED
 Date: May 9, 2016
 By: *Michelle Harrison*
 City of Buellton
 Planning Department

RECEIVED
 MAY 18 2016
 CITY OF BUELLTON
 Planning Department

CITY OF BUELLTON — PERMIT FORM
GRADING

Permit No. 1415-11
 City Project No. _____
 Engineer File No. CIBUE.140185.00

Form Revised: 3/00

Date: April 25, 2014 Location of Work: 180 Avenue of Flags, southeast portion of property

Owner: Flying Flags Assoc, LP, Dan Baumann (GM) 180 Avenue of Flags, Buellton, CA 93427 C: 805.570.6402 (D. Baumann)
 (Name) (Address) (Phone No.)

Contractor: Cal Portland Construction 1625 East Donovan Road, Santa Maria, CA O: 805.345.3581 (Mark Kalouner)
 (Name) (Address) (Phone No.)

Contractors License # 523019 Expiration 1/31/16

Description of Work Mass grading for the preparation of 46 new RV sites, 10 tent locations, future RV spaces/sites, sports field, recreation/pool area, parking stalls, restroom, storm drainage improvements, modification to and/or installation of paved surfaces. A separate Permit will be issued for the future City water main loop improvements. Dust and erosion control required at all times. See attached Special Provisions for additional information and requirements.

PERMIT ACCOUNTING

		Receipt Numbers
1. Required Bond Amount	<u>\$300,000.00</u>	
2. Minimum Deposit	<u>~\$15,000.00</u>	

COPY

THE UNDERSIGNED HEREBY MAKES APPLICATION TO PERFORM THE WORK DESCRIBED AT THE DESIGNATED LOCATIONS, SUBJECT TO THE PROVISIONS REQUIRED BY THE LATEST REVISIONS OF THE CITY OF BUELLTON MUNICIPAL CODE AND ANY SPECIAL PROVISIONS INDICATED HEREON OR ATTACHED.

IN CONSIDERATION OF THE GRANTING OF THIS PERMIT, IT IS AGREED BY THE UNDERSIGNED PERMITTEE, THAT THE CITY OF BUELLTON, ITS OFFICIALS, EMPLOYEES, VOLUNTEERS, AGENTS AND MNS ENGINEERS, INC. AND ITS EMPLOYEES AS INDIVIDUALS, SHALL BE PROTECTED, DEFENDED, INDEMNIFIED, AND HELD HARMLESS BY THE UNDERSIGNED APPLICANT FROM ANY LIABILITY OR RESPONSIBILITY FOR ANY ACCIDENT, LOSS OR DAMAGE TO PERSONS OR PROPERTY, HAPPENING OR OCCURRING AS THE PROXIMATE RESULT OF ANY OF THE WORK UNDERTAKEN UNDER THE TERMS OF THIS APPLICATION AND THE PERMIT OR PERMITS WHICH MAY BE GRANTED IN RESPONSE THERETO, AND THAT ALL OF SAID LIABILITIES ARE HEREBY ASSUMED BY PERMITTEE.

CONTRACTOR SHALL BE RESPONSIBLE FOR PUBLIC SAFETY IN ACCORDANCE WITH SECTION 7-10 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND TRAFFIC CONTROL AS SET FORTH IN THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH), LATEST EDITIONS.

ALL IMPROVEMENTS CONSTRUCTED UNDER THIS PERMIT SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE PERMIT CLEARANCE DATE.

CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT AT 1-800-227-2600, FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MONUMENTS IN PLACE AND RESETTING OF ANY DISTURBED SURVEY MONUMENTS BY A LICENSED LAND SURVEYOR AS REQUIRED BY STATE LAW.

AN EXCAVATION PERMIT ONLY ALLOWS PERMISSION TO EXCAVATE IN CITY RIGHT-OF-WAY. INSTALLATION AND CONNECTION TO UNDERGROUND FACILITIES REQUIRES SEPARATE PERMIT FROM APPROPRIATE UTILITY COMPANIES. EXCAVATION OVER FIVE (5) FEET DEEP REQUIRES CAL-OSHA PERMIT.

CONTACT CITY INSPECTOR AT 686-0137 OR 688-5200, TWENTY-FOUR (24) HOURS PRIOR TO START OF CONSTRUCTION.

THIS PERMIT IS VOID IF WORK NOT STARTED IN NINETY (90) DAYS AND CONTINUED TO COMPLETION.

Signature of Permittee

Dan Baumann 1/7/15

 Dan Baumann General Manager Date

Permit Issued by

Craig D. Snell
 Craig D. Snell Assistant Resident Engineer Date

Permit Cleared by

 Name Title Date

CITY OF BUELLTON —PERMIT FORM
GRADING – Addendum to include new City Water Main Loop

Permit No. 1415-13
 City Project No. _____
 Engineer File No. CIBUE.140185.00

Form Revised: 3/00

Date: January 5, 2015 Location of Work: 180 Avenue of Flags, southeast portion of property

Owner: Flying Flags Assoc, LP, Dan Baumann (GM) 180 Avenue of Flags, Buellton, CA 93427 C: 805.570.6402 (D. Baumann)
 (Name) (Address) (Phone No.)

Contractor: Cal Portland Construction 1625 East Donovan Road, Santa Maria, CA O: 805.345.3581 (Mark Kalouner)
 (Name) (Address) (Phone No.)

Contractors License # 523019 Expiration 1/31/16

Description of Work Mass grading for the preparation of 46 new RV sites, 10 tent locations, future RV spaces/sites, sports field, recreation/pool area, parking stalls, restroom, storm drainage improvements, modification to and/or installation of paved surfaces. **New City water main loop with revised tie-in location, off-site, at Days Inn.** Dust and erosion control required at all times. See attached Special Provisions for additional information and requirements. Reference Grading Permit No. 1415-11.

PERMIT ACCOUNTING

		Receipt Numbers
1. Required Bond Amount	<u>Per Permit No. 1415-11</u>	_____
2. Minimum Deposit	<u>None required – positive balance</u>	_____

THE UNDERSIGNED HEREBY MAKES APPLICATION TO PERFORM THE WORK DESCRIBED AT THE DESIGNATED LOCATIONS, SUBJECT TO THE PROVISIONS REQUIRED BY THE LATEST REVISIONS OF THE CITY OF BUELLTON MUNICIPAL CODE AND ANY SPECIAL PROVISIONS INDICATED HEREON OR ATTACHED.

IN CONSIDERATION OF THE GRANTING OF THIS PERMIT, IT IS AGREED BY THE UNDERSIGNED PERMITTEE, THAT THE CITY OF BUELLTON, ITS OFFICIALS, EMPLOYEES, VOLUNTEERS, AGENTS AND MNS ENGINEERS, INC. AND ITS EMPLOYEES AS INDIVIDUALS, SHALL BE PROTECTED, DEFENDED, INDEMNIFIED, AND HELD HARMLESS BY THE UNDERSIGNED APPLICANT FROM ANY LIABILITY OR RESPONSIBILITY FOR ANY ACCIDENT, LOSS OR DAMAGE TO PERSONS OR PROPERTY, HAPPENING OR OCCURRING AS THE PROXIMATE RESULT OF ANY OF THE WORK UNDERTAKEN UNDER THE TERMS OF THIS APPLICATION AND THE PERMIT OR PERMITS WHICH MAY BE GRANTED IN RESPONSE THERETO, AND THAT ALL OF SAID LIABILITIES ARE HEREBY ASSUMED BY PERMITTEE.

CONTRACTOR SHALL BE RESPONSIBLE FOR PUBLIC SAFETY IN ACCORDANCE WITH SECTION 7-10 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND TRAFFIC CONTROL AS SET FORTH IN THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH), LATEST EDITIONS.

ALL IMPROVEMENTS CONSTRUCTED UNDER THIS PERMIT SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE PERMIT CLEARANCE DATE.

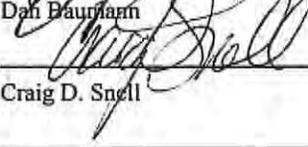
CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT AT 1-800-227-2600, FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MONUMENTS IN PLACE AND RESETTING OF ANY DISTURBED SURVEY MONUMENTS BY A LICENSED LAND SURVEYOR AS REQUIRED BY STATE LAW.

AN EXCAVATION PERMIT ONLY ALLOWS PERMISSION TO EXCAVATE IN CITY RIGHT-OF-WAY. INSTALLATION AND CONNECTION TO UNDERGROUND FACILITIES REQUIRES SEPARATE PERMIT FROM APPROPRIATE UTILITY COMPANIES. EXCAVATION OVER FIVE (5) FEET DEEP REQUIRES CAL-OSHA PERMIT.

CONTACT CITY INSPECTOR AT 686-0137 OR 688-5200, TWENTY-FOUR (24) HOURS PRIOR TO START OF CONSTRUCTION.

THIS PERMIT IS VOID IF WORK NOT STARTED IN NINETY (90) DAYS AND CONTINUED TO COMPLETION.

Signature of Permittee		<u>3/6/15</u>
	Dan Baumann	Date
Permit Issued by		<u>6 MAR 2015</u>
	Craig D. Snell	Date
Permit Cleared by	_____	_____
	Name	Title
		Date

COPY

For City of Buellton Inspection Items
Engineer's Opinion of Cost
FLYING FLAGS RV RESORT
180 Avenue of Flags
Buellton, CA 93427
September 23, 2014

	Total
	Cost
Schedule A: Grading	\$53,222.18
Schedule B: Waterline Improvements	\$238,448.80
Schedule C: Misc. Utilities	\$11,250.00
Sub-Total	\$302,920.98
Contingency (15%)	\$45,438.15
Total Cost:	\$348,359.13

General Note:

These estimated quantities and costs are for general information purposes and may not reflect all items required for construction of the project. All estimated quantities and costs should be verified prior to use for any bidding or contract. The unit quantities and cost shown herein are based on the engineer's "best guess" at the time of preparation of this "cost estimate" and are supplied as a guide only to aid in the financial planning of the project. Actual construction quantities and costs may and probably will vary at the time of bidding and/or construction and therefore NO warranty or guarantee of quantities and costs is given or implied. The contractor shall notify the Engineer of any discrepancies that are encountered or anticipated additions that should be addressed.

Prepared by: Sid Goldstien-Civil Engineer, Inc.
650 Alamo Pintado Rd. Suite 302
Solvang, Ca 93463
(805) 688-1526
sid@sjgce.com
www.sjgce.com.



Schedule A				
Rough Grading Improvements				
Item	Total Quantity	Unit of Measure	Unit Cost	Total Cost
Mobilization and Pre-water	1.00	Lump Sum	\$3,000.00	\$3,000.00
Clearing and Grubbing	260,327.80	S.F.	\$0.03	\$7,809.83
Over-Excavation for Buildings	1,166.67	C.Y.	\$3.50	\$4,083.35
Excavation and Compaction	5,210.00	C.Y.	\$2.40	\$12,504.00
Import	1,255.00	C.Y.	\$15.00	\$18,825.00
Erosion Control	1.00	Lump Sum	\$7,000.00	\$7,000.00
			Sub-Total	\$53,222.18

Schedule B				
Waterline Improvements				
Item	Total Quantity		Unit Cost	Total Cost
8" Class 150 P.V.C. Waterline (incl. trench/fittings) *	1,083.60	L.F.	\$58.00	\$62,848.80
8" Gate Valve	5.00	EA.	\$2,200.00	\$11,000.00
4" Gate Valve	2.00	EA.	\$800.00	\$1,600.00
Pressure Test & Disinfection	1.00	Lump Sum	\$2,000.00	\$2,000.00
Fire Hydrant Assembly incl. 6" Line, Fittings & Valve	1.00	EA.	\$6,000.00	\$6,000.00
3" Water Meter	1.00	EA.	\$140,000.00	\$140,000.00
Connect to Existing 8" Public Water Main	2.00	EA.	\$5,000.00	\$10,000.00
4" Backflow Device	1.00	EA.	\$5,000.00	\$5,000.00
			Sub-Total	\$238,448.80

Schedule C				
Miscellaneous Utilities/Items				
Item	Total Quantity		Unit Cost	Total Cost
Bio-Filtration Trench	750.00	S.F.	\$15.00	\$11,250.00
			Sub-Total	\$11,250.00

COPY

Engineer's Opinion of Cost
FLYING FLAGS RV RESORT
180 Avenue of Flags
Buellton, CA 93427
August 21, 2014

	Total Cost
Schedule A: Grading	\$53,222.18
Schedule B: Road Construction	\$827,245.95
Schedule C: Waterline Improvements	\$348,198.80
Schedule D: Sewerline Improvements	\$298,980.00
Schedule E: Misc. Utilities	\$131,250.00
Sub-Total	\$1,658,896.93
Contingency (15%)	\$248,834.54
Total Cost:	\$1,907,731.47

General Note:

These estimated quantities and costs are for general information purposes and may not reflect all items required for construction of the project. All estimated quantities and costs should be verified prior to use for any bidding or contract. The unit quantities and cost shown herein are based on the engineer's "best guess" at the time of preparation of this "cost estimate" and are supplied as a guide only to aid in the financial planning of the project. Actual construction quantities and costs may and probably will vary at the time of bidding and/or construction and therefore NO warranty or guarantee of quantities and costs is given or implied. The contractor shall notify the Engineer of any discrepancies that are encountered or anticipated additions that should be addressed.

Prepared by: Sid Goldstien-Civil Engineer, Inc.
650 Alamo Pintado Rd. Suite 302
Solvang, Ca 93463
(805) 688-1526
sid@sjgce.com
www.sjgce.com.



Schedule A Rough Grading Improvements				
Item	Total Quantity	Unit of Measure	Unit Cost	Total Cost
Mobilization and Pre-water	1.00	Lump Sum	\$3,000.00	\$3,000.00
Clearing and Grubbing	260,327.80	S.F.	\$0.03	\$7,809.83
Over-Excavation for Buildings	1,166.67	C.Y.	\$3.50	\$4,083.35
Excavation and Compaction	5,210.00	C.Y.	\$2.40	\$12,504.00
Import	1,255.00	C.Y.	\$15.00	\$18,825.00
Erosion Control	1.00	Lump Sum	\$7,000.00	\$7,000.00
			Sub-Total	\$53,222.18

Schedule B Road Construction				
Item	Total Quantity		Unit Cost	Total Cost
Sawcut	314.15	L.F.	\$2.00	\$628.30
Compact Roadbed / RV Parking	113,420.00	S.F.	\$1.30	\$147,446.00
Road Base - 6"	113,420.00	S.F.	\$1.50	\$170,130.00
A.C. Pavement - 3"	73,920.00	S.F.	\$3.00	\$221,760.00
Concrete RV Pads - 6"	36,987.70	S.F.	\$4.50	\$166,444.65
Concrete Picnic/Utility Pads - 4"	5,888.00	S.F.	\$4.00	\$23,552.00
Concrete Gutter - 2'	6,901.00	S.F.	\$10.00	\$69,010.00
Concrete Gutter - 6'	1,885.00	S.F.	\$15.00	\$28,275.00
			Sub-Total	\$827,245.95

Schedule C Waterline Improvements				
Item	Total Quantity		Unit Cost	Total Cost
8" Class 150 P.V.C. Waterline (incl. trench/fittings) *	1,063.60	L.F.	\$58.00	\$62,848.80
3" Class 150 P.V.C. Waterline (incl. trench/fittings) *	905.00	L.F.	\$40.00	\$36,200.00
4" Class 150 P.V.C. Waterline (incl. trench/fittings) *	583.00	L.F.	\$50.00	\$29,150.00
8" Gate Valve	5.00	EA.	\$2,200.00	\$11,000.00
3" Gate Valve	4.00	EA.	\$600.00	\$2,400.00
4" Gate Valve	2.00	EA.	\$800.00	\$1,600.00
3/4" Service Laterals	56.00	EA.	\$700.00	\$39,200.00
2" Service Laterals	4.00	EA.	\$700.00	\$2,800.00
Pressure Test & Disinfection	1.00	Lump Sum	\$2,000.00	\$2,000.00
Fire Hydrant Assembly incl. 6" Line, Fittings & Valve	1.00	EA.	\$6,000.00	\$6,000.00
3" Water Meter	1.00	EA.	\$140,000.00	\$140,000.00
Connect to Existing 8" Public Water Main	2.00	EA.	\$5,000.00	\$10,000.00
4" Backflow Device	1.00	EA.	\$5,000.00	\$5,000.00
			Sub-Total	\$348,198.80

Schedule D Sewerline Improvements				
Item	Total Quantity		Unit Cost	Total Cost
8" P.V.C. Sewer (including trench & fittings)	1,524.00	L.F.	\$45.00	\$68,580.00
6" P.V.C. Sewer (including trench & fittings)	815.00	L.F.	\$40.00	\$32,600.00
Sewer Manholes	10.00	EA.	\$4,500.00	\$45,000.00
Sewer Cleanouts	5.00	EA.	\$1,500.00	\$7,500.00
Sewer Laterals (4")	59.00	EA.	\$1,200.00	\$70,800.00
Cleaning, Testing & Video Inspection	1.00	Lump Sum	\$4,500.00	\$4,500.00
Connect To Existing Sewer	1.00	Lump Sum	\$70,000.00	\$70,000.00
			Sub-Total	\$298,980.00

Schedule E Miscellaneous Utilities/Items				
Item	Total Quantity		Unit Cost	Total Cost
Gas Main (including trench & fittings)	1,500.00	L.F.	\$20.00	\$30,000.00
Dry Utilities (including trench, conduit & pull boxes)	1,500.00	L.F.	\$60.00	\$90,000.00
Bio-Filtration Trench	750.00	S.F.	\$15.00	\$11,250.00
			Sub-Total	\$131,250.00

ROAD
RIGHT
RIGHT-OF-WAY

SHEET
SQUARE FOOT
STATION
STANDARD
SANITARY SEWER CLEANDOUT

THRUST BLOCK
TOP OF CURB
TOP OF WALL
TYPICAL

WIDTH
WATERLINE
WATER METER
WATER VALVE

EXISTING WATER LINE

EXISTING SEWER

EXISTING GAS LINE

SANITARY SEWER CLEANDOUT

SANITARY SEWER MANHOLE

GATE VALVE

FIRE HYDRANT

NEW WATER LINE

NEW SEWER

NEW GAS LINE

LIMITS OF GRADING



VICINITY MAP

STATE STAMP

N.T.S.

GENERAL INFORMATION

PROJECT ADDRESS

180 AVENUE OF FLAGS
BUELLTON, CA 93427

ASSESSOR'S PARCEL NUMBER

137-230-085

ZONING

CR - GENERAL COMMERCIAL

LOT SIZE

14.05 ACRES, PER ASSESSOR'S MAP

UTILITY PROVIDERS

WATER: CITY OF BUELLTON
SEWER: CITY OF BUELLTON
GAS: GAS Co.
ELECTRICITY: PG&E
TELEPHONE: VERIZON

SCHOOL DISTRICTS

ELEMENTARY: JONATA SCHOOL DISTRICT
HIGH SCHOOL: SANTA YNEZ VALLEY UNION HIGH SCHOOL

APPROVED
Accepted to meet conditions of permit in Section 10
of conditions of condition from requirements of code and of
various local ordinances. Original plan and title shall
be available for the project site at all times. Plans shall be
maintained when they become obsolete or discontinued.

SEP 03 2014

State of California
Department of Housing and
Community Development
Division of Codes and Standards

CONTACT INFORMATION

OWNER:

FLYING FLAGS R.V. RESORT
180 AVENUE OF FLAGS
BUELLTON, CA 93427
ATTN: DAN BAUMAN (PARK MGR)
tel: (805) 688-3716
email: dan@flyingflags.com

ENGINEER:

SID GOLDSTEIN CIVIL ENGINEER,
850 ALVARO PARKWAY ROAD SU
SOLVING, CA 93463
ATTN: SID GOLDSTEIN
tel: (805) 688-1528 fax: (805)
email: sid@gigges.com

SURVEYOR:

JON MCKELLAR, PLS
2805 SOUTH MILLER STREET, S
SANTA MARIA, CA 93455
ATTN: JON MCKELLAR
tel: (805) 680-1855 fax: (805)
email: jon@mckellar.com

SOILS ENGINEER:

ALBUS-KEEFE & ASSOCIATES, II
1011 N. ARMANDO ST.
ANAHEIM, CA 92806
ATTN: PATRICK KEEFE
tel: (714) 530-1625 fax: (714)
email: pleafe@albus-keefe.net

CONTRACTOR:

REDWOOD CONSTRUCTION, INC.
4655 McARTHUR COURT, SUITE
NEWPORT BEACH, CA 92650
ATTN: BILLY DAVIS
tel: (949) 399-2500 fax: (949)
email: wdavis@redwoodconst.com

QUALITY CONTROL MONITOR:

FLYING FLAGS R.V. RESORT
180 AVENUE OF FLAGS
BUELLTON, CA 93427
ATTN: DAN BAUMAN (RESORT MGR)
tel: (805) 688-3716
email: dan@flyingflags.com

HCD PERMIT #

A PERMIT FROM THE CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH PERMIT FROM THE BUELLTON

CA. CODE TITLE

ALL CONSTRUCTION SHALL COMPLY WITH CALIFORNIA HEALTH AND SAFETY CODE TITLE 25 FOR SPECIAL C

PROJECT SHEET INDEX

SHEET NO.	DESCRIPTION
CE-01	TITLE SHEET
CE-02	CONDITIONS OF APPROVAL
CE-03	CONDITIONS OF APPROVAL (CONT.)
CE-04	SITE GRADING PLAN
CE-05	SEWER
CE-06	WATER
CE-07	ROAD
CE-08	DETAILS
CE-09	DETAILS (CONT.)
CE-10	DETAILS (CONT.)
CE-11	EROSION CONTROL
CE-12	EXISTING CAMPER RENTAL SPACES

TOPOGRAPHIC INFORMATION CS 5523

GOLDEN STATE AERIAL SURVEYS, INC. PHOTOGRAPHY DATED: 2-11-04
3195 McMILLAN RD, SUITE E SCALE: 1"=40'
SAN LUIS OBISPO, CA 93401 CONTOUR INTERVAL: 1'
(805) 549-0399 DATUM: NGVD 1988

PROJECT ENGINEER CERTIFICATE:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OF THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF BUELLTON IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

Sid Goldstein
SID GOLDSTEIN R.C.E. 33042

8/19/14
DATE

SWPPP

WDD No. 3 42C399637
LEGALLY RESPONSIBLE PERSON
MICHAEL B. EARL

COPY

RECEIVED BY

'K QUANTITIES

CUT
70 C.Y.
95 C.Y.
40 C.Y.
= 1,040 C.Y.

25 C.Y.
70 C.Y.

55 C.Y.

AS SHOWN DO NOT INCLUDE EXCAVATION FOR THE THEIR OWN EARTHWORK QUANTITIES FOR CONTRACTOR SHALL NOTIFY THE OWNER AND QUANTITIES WILL VARY FROM THOSE SHOWN

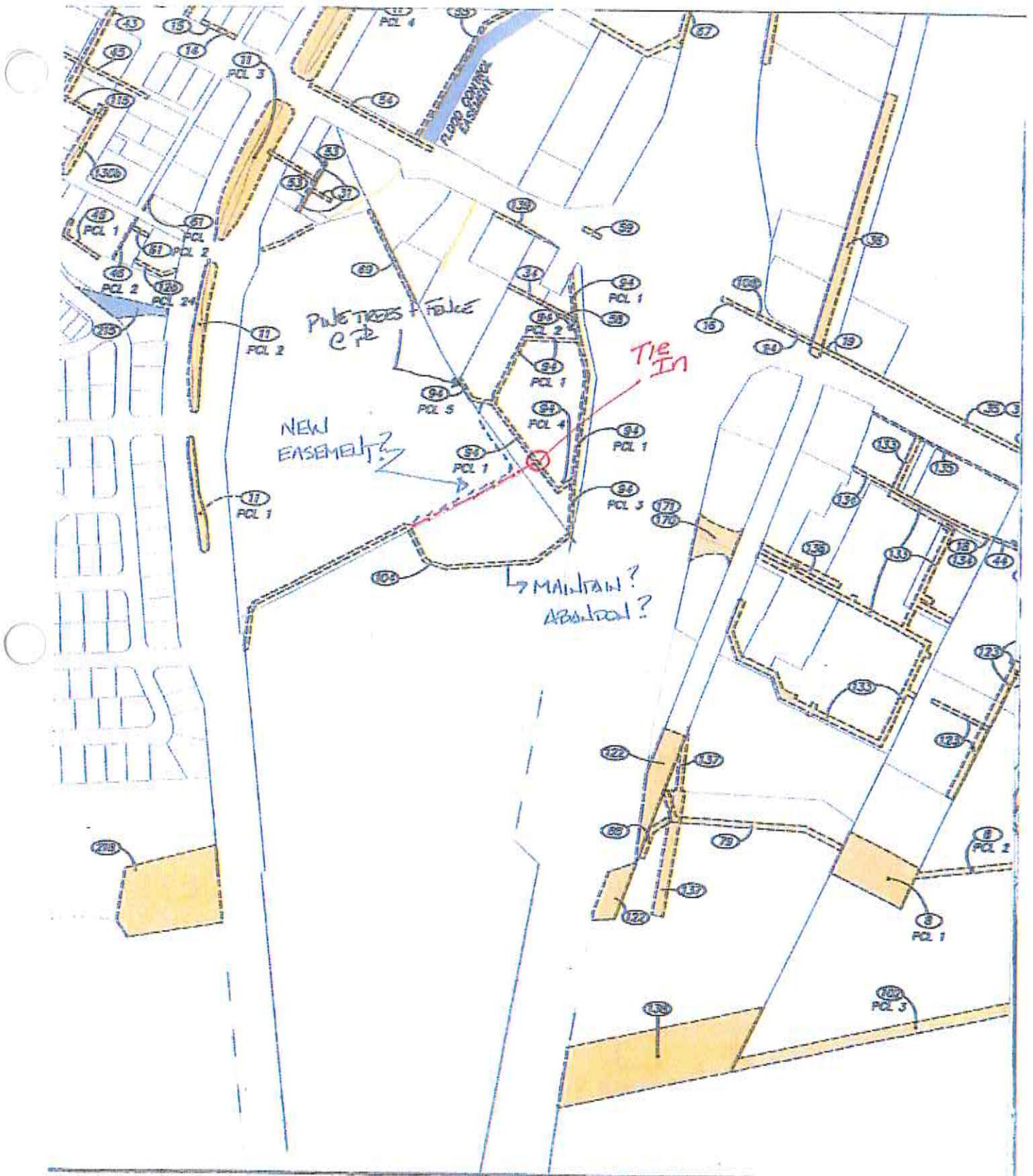
CERTIFICATE:

RES THAT HE/SHE WILL PROVIDE EARTHWORK OPERATIONS AS NECESSARY TO BE PERFORMED IN GENERAL COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS

R.V. RESORT, DATED FEB 17, 2014

WILL PROVIDE A FINAL REPORT WITH HIS/HER OPINION THAT, TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEF, THE DESIGN AND CONSTRUCTION OF THIS GRADING AND EROSION CONTROL MEASURES WILL COMPLY WITH THE APPROVED PLANS AND CALIFORNIA ENGINEERING REPORT INCLUDING FIELD INSPECTIONS AND TESTING OF THIS GRADING OF THE BUELLTON MUNICIPAL CODE,

DATE





PROJECT NUMBER:

APN:

ADDRESS:

PLANNING & DEVELOPMENT LAND USE, COASTAL DEVELOPMENT, BUILDING PERMIT AND ZONING CLEARANCE APPLICATION

TYPE OF WORK: (Check all that apply)

- New Structure
 Addition
 Ext. Alter.
 Int. Remodel
 Change of Use
 Demo
 Move
 Exempt.
 Sign
 Grading
 Retaining Wall
 Stockpiling
 Electrical
 Plumbing
 Mechanical
 Other: _____

SITE ADDRESS: 180 Avenue of Flags Town: Duellton

Assessor Parcel No.(s): 137-200-085 Zone District _____

Parcel Size: _____ (Gross) _____ (Net) Tract No.: _____ Lot No.: _____

Recorded Map Date: _____

Estimated work value \$ 3000.00 Did you have a Planner Consultation? No Yes

1. Financially Responsible Person: Matt Naretto Phone: 805-705-2679
 (for this project)

Mailing Address: _____

Owner: FPA Flying Flags Assoc LP Phone: 688-4018 FAX: _____
 Street City State Zip

Mailing Address: _____ E-mail: _____
 Street City State Zip

3. Agent: _____ Phone: _____ FAX: _____

Mailing Address: _____ E-mail: _____
 Street City State Zip

4. Arch./Designer: _____ Phone: _____ FAX: _____

Mailing Address: _____ E-mail: _____
 Street City State Zip

State License No.: _____

5. Engineer/Surveyor: _____ Phone: _____ FAX: _____

Mailing Address: _____ E-mail: _____
 Street City State Zip

State License/Registration No.: _____

6. Contractor: Nargan Fire Phone: 967-8475 FAX: _____

Mailing Address: 629 Firestone rd. Goleta CA 93117
 Street City State Zip

State License No.: C-16 620968 E-mail: _____

Please circle primary contact



P.O. Box 1962, Paso Robles, CA 93447
805.712.6359, sarah.palt@paltandassociates.com

Kitchen Hood Inspection Flying Flags Resort

P15-038

Project Address:

180 Ave of the Flags
Buellton, CA 93427

Testing Date: 5/4/2015

This is to certify that Palt and Associates Inc., a California Corporation, has inspected and tested the systems described as to their optimum performance capabilities. The testing has been performed in accordance with the most current industry standards and following NEBB procedures. Palt and Associates is a California State Licensed air and water balance contractor and carries a D-62 license. We certify the results of this testing to be true and accurate.

A handwritten signature in cursive script, appearing to read 'Sarah Palt', is written over a horizontal line.

Sarah Palt, CEO



County of Santa Barbara

Planning and Development

Michael Zimmer, Building Official

09PLM-00000-00026

FPA FLYING FLAGS PLUMB 2/27/09

180, AVENUE OF FLAGS

BUELLTON

137-200-085

Construction Bond

Yes No

High Fire Area

Yes No

Fire Sprinklers Req.

Yes No

Permit Compliance

Yes No

INSPECTION REQUEST LINES

Santa Barbara 805 568-3118

Santa Maria 805 934-6232

Santa Ynez 805 686-5021

Mitigation Fees

Yes No

THIS PERMIT BECOMES NULL AND VOID if the work or construction authorized is not commenced within ONE YEAR from date of issuance or subsequently if work is suspended or abandoned for a period of 180 days any time after work is commenced. SBCO Code 10-2.6(b).

DESCRIPTION OF WORK:

PLUMBING - EXTEND EXISTING GAS LINE TO (3) PARK MODEL UNITS

CLEARANCES: BUILDING

INSPECTION	DATE	INIT	INSPECTION	DATE	INIT	INSPECTION	DATE	INIT
Temp Electrical			T-bar Ceiling			Pool Setback		
E. Setback			Fire Sprinkler			Pool Steel		
Grd Electrode			Fire Alarm			Pool Steel Bonding		
Caissons			1 st Fireplace Lift			DO NOT GUNITE UNTIL ABOVE IS APPROVED		
Grade Beam			2 nd Fireplace Lift					
Foundation			3 rd Fireplace Lift					
DO NOT POUR FOUNDATION UNTIL ABOVE IS APPROVED			Rough Electrical			Pool Deck Bond		
			Rough Mechanical			Pool Safety Req.		
1 st lift CMU			Rough Plumbing			Building Gas Test		
2 nd lift CMU			DO NOT CALL FOR FRAME UNTIL ABOVE IS APPROVED			Gas Meter		
3 rd lift CMU						Electrical Meter		
U/F Electrical			Framing			FINAL INSPECTIONS		
U/F Mechanical			Exterior Drywall					
U/F Plumbing			Insulation					
Floor Joist			DO NOT DRYWALL UNTIL ABOVE IS APPROVED			POOL FINAL		
U/F Insulation						FIRE DEPT		
Concrete Slab			Exterior Lath			EHS		
DO NOT COVER FLOOR UNTIL ABOVE IS APPROVED			Interior Drywall			SANITARY DIST		
			Shower Pan			ROADS		
Floor Diaphragm			DO NOT STUCCO UNTIL ABOVE IS APPROVED			GRADING		
Pre Wrap/ Nail						PERMIT COMP		
S ¹ Panel			Building Sewer			PLANNING		
F ¹ Nail			U/G Electrical			ELECTRICAL		
DO NOT COVER ROOF UNTIL ABOVE IS APPROVED			Water Service			MECHANICAL		
			U/G Gas Line			PLUMBING	3-24-09	
			U/G Gas Test			FINAL BUILDING	3-24-09	

Permit



RV RESORT & CAMPGROUND
 Beaufort, CA • flyingflags.com

Reservations: 1-877-783-5247

www.FlyingFlags.com

Information: 1-805-688-3716

Email: info@flyingflags.com

Your Site # Is: _____

Wi-Fi Password: _____

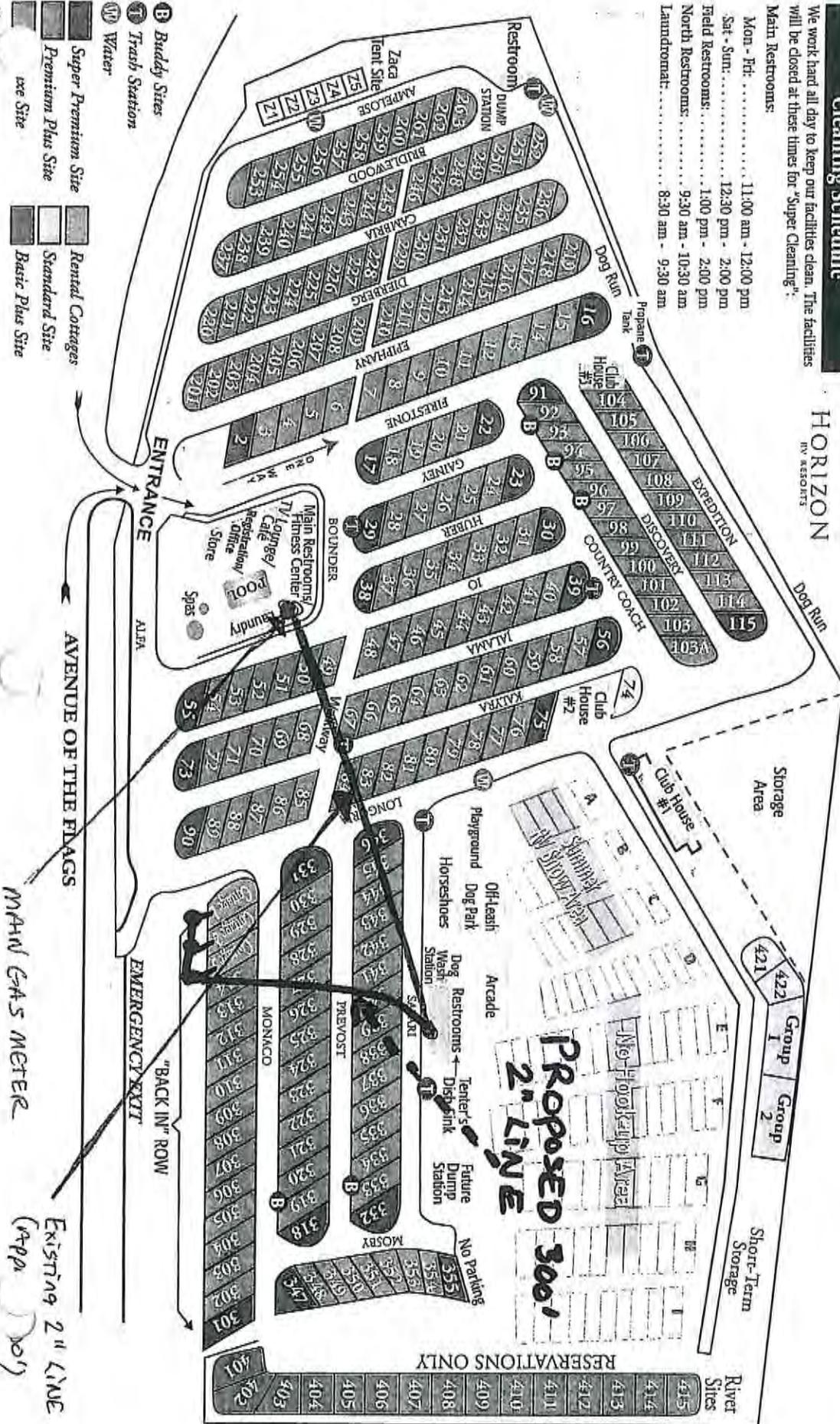
TangoInternet Toll Free Support: 1-866-968-3646

Cleaning Schedule

We work hard all day to keep our facilities clean. The facilities will be closed at these times for "Super Cleaning":
 Main Restrooms:
 Mon - Fri: 11:00 am - 12:00 pm
 Sat - Sun: 12:30 pm - 2:00 pm
 Field Restrooms: 1:00 pm - 2:00 pm
 North Restrooms: 9:30 am - 10:30 am
 Laundromat: 8:30 am - 9:30 am

HORIZON
RV RESORTS

The site professionally managed by



- B** Buddy Sites
- T** Trash Station
- W** Water
- Super Premium Site
- Premium Plus Site
- Basic Plus Site
- Rental Cottages
- Standard Site
- Basic Plus Site

Existing 2" LINE (App 201)



County of Santa Barbara Planning and Development
Building and Safety Division

Santa Barbara 568-3030 Fax 568-3103/Santa Maria 934-6230 Fax 934-6258/Santa Ynez 686-5020 Fax 686-5028

Plumbing Permit

09PLM-00000-00026

Application Date: 02/27/2009

Issuance Date: Not Issued

Issued By:

Project Details

Site Information:	180 AVENUE OF FLAGS, BUELLTON, CA 93427				
Acreage:	14.05	Zoning:	CITY	Assessor Parcel:	137-200-085
Work Description:	PLUMBING - EXTEND EXISTING GAS LINE TO (3) PARK MODEL UNITS				
CLEARANCES:	BUILDING				

Owner, Agent, Contractor, Architect, Engineer

Owner:	FPA FLYING FLAGS ASSOC. 180 AVENUE OF FLAGS, BUELLTON, CA 93427		
	DAN BAUMANN	180 AVENUE OF FLAGS BUELLTON, CA 93427	(805) -68-3716
License#			

Valuation Detail

Unit Type	Occupancy	Unit Amount	Unit Cost	Job Value
				Total Value:

Required Clearances/Conditions

--

See Last Page for legal declarations

Worker's Compensation

I hereby affirm and declare under penalty of perjury that I will maintain a Certificate of Consent to self insure for Worker's Compensation or a Certificate of Worker's Compensation Insurance on file with the Santa Barbara County Building and Safety Division (Sec. 3700 of the California Labor Code). I have, and will maintain worker's compensation insurance as required by the Labor Code, for the performance of the work for which this permit is issued.

Insurer _____

Policy#

Exp.Date

I further affirm and declare that I shall not employ any person in any manner so as to violate the Worker's compensation Laws of the State of California

OWNER BUILDER/CONTRACTOR DECLARATION

- I Affirm and declare that I am a licensed contractor under the provisions of Chapter 9 of the California State Contractor's Law and my license is in full force and effect.
- I affirm and declare that I am exempt from the Cal. State Contractor's Law for the following reasons:
- I, as owner of the property, or my employees with the wages as their sole compensation, will perform the work and the structure is not intended or offered for sale within one year from date of issuance of this permit (Business and Professions Code, Sec. 7044).

Signature of Permittee *Donald K P*

Date 2-27-09

Plumbing Permit

Application For Permit To Construct/Remodel Food Facility

SR0109175

Type of Construction/Remodel (Check one of the appropriate box(es) below)

Project category or square footage of the area of being constructed/remodeled:

- ≤ 500 sq. ft \$ 800 (4 hrs.) * [1660]
- 501 - 10,000 \$ 1,000 (12 hrs.) * [1661]
- > 10,000 sq. ft. \$ 2,900 (20 hrs.) * [1667]
- Mobile Food Facility/Prep./Support Unit \$ 435 (3 hrs.) * [1668]
- Equipment Change or Addition \$ 560 (3 hrs.) * [1669]
- Minor Remodel \$ 295 (2 hrs.) * [1673]

FOR OFFICE USE ONLY
 SR 0109175
 Prog./Elmt 16 69
 District: 207

Ventilation hood change or change / addition of one major item of equipment such as dishwasher or walk-in refrigerator
 Dining area change or change/addition of countertop equipment

Plan check fees include plan checking, construction evaluation and final inspection services. Plans that are found to be unsatisfactory will be returned for revision. Plans which are unusually complex or resubmitted with significant changes, requiring staff time in excess of the hours noted above shall be charged the standard hourly rate for the excess time.

* An hourly rate fee of \$136 will be added for those projects that require staff time in excess of that noted above. Final project approval will not be issued until all fees are paid.

Required Attachments:

1. One (1) set of complete, easily readable plans drawn to scale (minimum of 1/4" per foot). Two additional sets will be required prior to final plan approval.
2. One (1) set of equipment specifications. Two additional sets will be required prior to final plan approval.
3. Samples of proposed floor and ceiling materials may be required.

Owner Information (Please Print)

Owner(s) Last BAUMANN, First DAN
 MGR Last _____, First _____

Home phone (805) 570-6402 Business phone: (805) 688-3716 FAX: (805) 688-9245

Mailing/Billing Address: Care of Dan Baumann
 Street/PO Box 180 AVE OF FLAGS Suite _____
 City BUELLTON State/Zip CA, 93427

Name of Corporation or Limited Liability Company: FPA FLYING FLAGS ASSOC.

Facility Information (Please Print)

Business name (DBA) FLYING FLAGS RV Resort + Campground
 Business address 180 AVE OF FLAGS Suite _____
 City BUELLTON State CA Zip 93427 Business Phone (805) - 688-3716

(Previous establishment name _____) Fax () _____

Water Supply: Public Utility Private Well

Sewage Disposal: Public Sewer Onsite Septic System

— Contact —
 Dan Baumann
 call at 570-6402
 Page # 1 of 2

Application For Permit To Construct/Remodel Food Facility

SR0109175

Type of Construction/Remodel (Please check the appropriate box(es) below)

Project category or square footage of the area to be constructed/remodeled:

- ≤ 500 sq. ft. \$ 840 (6 hrs.)* [1660]
- 501 - 10,000 \$ 1,700 (12 hrs.)* [1661]
- > 10,000 sq. ft. \$ 2,900 (20 hrs.)* [1667]
- Mobile Food Facility/Prep./Support Unit \$ 435 (3 hrs.)* [1668]
- Equipment Change or Addition \$ 560 (3 hrs.)* [1669]
- Minor Remodel \$ 295 (2 hrs.)* [1673]

Ventilation hood change or change/addition of one major item of equipment such as dishwasher or walk-in refrigerator
Dining area change or change/addition of countertop equipment

FOR OFFICE USE ONLY	
SR	0109175
Prog./Elmt:	16 69
District:	207

Plan check fees include plan checking, construction evaluation and final inspection services. Plans that are found to be unsatisfactory will be returned for revision. Plans which are unusually complex or resubmitted with significant changes, requiring staff time in excess of the hours noted above shall be charged the standard hourly rate for the excess time.

* An hourly rate fee of \$136 will be added for those projects that require staff time in excess of that noted above. Final project approval will not be issued until all fees are paid.

Required Attachments:

1. One (1) set of complete, easily readable plans drawn to scale (minimum of 1/4" per foot). Two additional sets will be required prior to final plan approval.
2. One (1) set of equipment specifications. Two additional sets will be required prior to final plan approval.
3. Samples of proposed floor and ceiling materials may be required.

Owner Information (Please Print)

(owner / Registrator / Contractor / all the so...)

Owner(s) Last BAUMANN, First DAN
MGR Last _____, First _____

Home phone (805) 570-6402 Business phone: (805) 688-3716 FAX: (805) 688-9245

Mailing/Billing Address: Care of DAN BAUMANN
Street/PO Box 180 AVE OF FLAGS Suite _____
City BUELLTON State/Zip CA 93427

Name of Corporation or Limited Liability Company: FPA FLYING FLAGS ASSOC.

Facility Information (Please Print)

Business name (DBA) FLYING FLAGS RV RESORT + Campground
Business address 180 AVE OF FLAGS Suite _____
City BUELLTON State CA Zip 93427 Business Phone (805)- 688-3716

(Previous establishment name _____) Fax () _____

Water Supply: Public Utility Private Well

Sewage Disposal: Public Sewer Onsite Septic System

Conto +
Dan Baumann
cell # 570-6402

Plan Check Information

Name of contractor/contact person DAN BAUMANN Title General Manager
Business name (DBA) FLYING FLAGS RV RESORT
Business address 180 AVE OF FLAGS City Buellton State CA Zip 93427
Phone (805) 688-3716 Cell Phone (805) 570-0402 Fax (805) 688-9245

Construction Approval

When signed by the Environmental Health Specialist, this application shall be deemed a Permit to Construct for the work described. Do not begin construction until plans have been approved by Environmental Health Services. Please note additional permits (e.g., electrical installation, land use clearance, grading) may also be required from other agencies. THIS PERMIT TO CONSTRUCT SHALL EXPIRE upon completion of the task authorized or one year from date of issuance, whichever comes first. No changes from the approved plans are permitted without prior written approval by Environmental Health Services. Allow 20 business days for the initial review of plans.

I certify that I have read this application and declare under penalty of perjury that the information contained herein is true, correct and complete. I agree to comply with all county ordinances and state laws relating to building, development and construction. I hereby authorize representatives of Santa Barbara County to enter the premises for the purpose of inspecting the work described herein for compliance with county requirements.

REQUIRED INSPECTIONS - FINAL CLEARANCE: An inspection must be scheduled directly with the approving Environmental Health Specialist at least two (2) days in advance for each of the following:

1. Plumbing
2. Pre-Final
3. Final Inspection

Print Name DAN BAUMANN Title: General Manager

Signature: [Signature] Date: 1/22/14

APPLICATION DISPOSITION: Approved Denied

Signed [Signature] Environmental Health Specialist Date 3/26/14

SR0109175
1669

new se
[Signature]
9/18/14

FOR DEPARTMENT USE ONLY			
Fixed Fee:	Rec'd By: <u>J Teniente</u>	Date Rec'd: <u>1/28/14</u>	Amount Rec'd: \$ <u>560⁰⁰</u>
	Check No.: <u>100216</u>	Receipt No.: <u>2027587</u>	
Hourly Billing:	Applicant notified of amount due by Plan Checker (initials): _____ Date: _____		
	Rec'd by: _____	Date Rec'd: _____	Amount Rec'd: \$ _____
	Check No.: _____	Receipt No.: _____	
PLAN REVIEW RECORD			
Date plans received:	Date _____	By _____	Date _____
Resubmitted:	Date _____	By _____	Date _____
Permit Conditions: _____			
Building and Safety Division Notification: Initials: _____ Date: _____			
Final construction approved by: _____		Date _____	
Final Clearance by: _____		Date _____	

EHS 16-1b (Rev.11/09)

RECEIVED
JAN 28 2014
ENVIRONMENTAL
HEALTH SERVICES



Permit History by Parcel
Parcel Number 137-200-085

Printed on May 6, 2015 at 2:22 pm

An ancestor parcel exists. Please refer to its permit history for further information.

137-200-071

Table with 3 columns: Reference Address (180 AVENUE OF FLAGS, BUELLTON), Legal Description, Acreage (14.05), Reference Owner (FPA FLYING FLAGS ASSOCIATES, L P), Supervisorial District (3), and Zoning (CITY).

Parcel Geographical Data

Table with 3 columns: BAR Jurisdiction, California Natural Diversity Database, Comprehensive Plan, Critical Habitat, Flood Hazard, HMA, Home Exemption Value, Personal Value, Plan Area, Region, Tax Rate Area (007002 WARNING!), Trails, and Use Code (0900).

Special Districts and Other Information of Interest (derived from the Tax Rate Area number):

Table listing special districts: BUELLTON CITY, SANTA YNEZ VALLEY UNION HIGH SCHOOL, SANTA BARBARA COUNTY FIRE PROTECTION, BUELLTON UNION ELEM. SCHOOL, SANTA YNEZ RIVER WATER CONSV., and SANTA BARBARA COUNTY WATER AGENCY.

Accela Cases

Table with 7 columns: Case Number, Dept., Filed, Planner, Project Name, Status. Lists cases like 08ELE-00000-00419, 09ELE-00000-00033, etc.

LIX Building Cases

Table with 7 columns: Application Number, Type, Description, Issuance Date, Action Date, Status, Misc. Lists cases like 65309, 65336, 79271, etc.

LIX Building Cases

continued ...

<u>Application Number</u>	<u>Type</u>	<u>Description</u>	<u>Issuance Date</u>	<u>Action Date</u>	<u>Status</u>	<u>Misc.</u>
109610	C	BLDG ADD	12/10/85	07/09/87	F	
311	C	BLDG ADD	12/10/85	07/09/87	F	
102728	R	ADDBATHRM	01/26/84	07/26/85	F	
256905	R	REROOF	05/15/96	12/10/99	F	

There are no LIX Planning cases for this parcel



FOR INSPECTION PLEASE CALL
KEN PERGESON
805-746-7557

State of California
Business, Transportation and Housing Agency
Department of Housing and Community Development
Division of Codes and Standards
Mobilehome and Special Occupancy Parks Programs
APPLICATION FOR PERMIT TO CONSTRUCT
SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION

Required for commercial mobilehomes and recreational vehicles

LICENSED CONTRACTORS DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) of this title or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subject to the application a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended to be offered for sale (Sec. 7034, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves the property and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____ B. & P.C. for this reason: _____

Owner: FPA Flying Flags LLC Date: 7/21

3. WORKERS' COMPENSATION DECLARATION
I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance policy and policy number are:

Carrier: _____
Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant: _____ Date: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which the permit is issued (Sec. 3097, Civ. C.).

Lender's Name: _____
Lender's Address: _____

CERTIFICATION
I hereby affirm that I have read the application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: _____ Date: _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name: Flying Flags RU Resort

Park Address: 180 Ave of the flags

City: Buellton County: Santa Barbara

Zip: 93427 Unincorporated _____ Incorporated

Park Owner: FPA Flying Flags Assets LLC

APPLICANT: Rick Kiperels

CONTRACTOR OWNER Other _____

Address: SAME AS ABOVE Tel. No: 916 324 8310

Architect/Engineer: _____ Lic. No.: _____
Address: _____ Tel. No.: _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered Area

13'-6" x 44"

Valuation \$: _____

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Shed

Other (specify) _____

OWNER: FPA Flying Flags LLC Tel. No.: (805) 570-6402

Address: 180 Ave of the flags

RESIDENT: _____ Tel. No.: _____

Lot No.: ST#F

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner: _____ Tel. No.: _____

Address: _____

Resident: _____ Lot No.: _____

Serial Number(s): _____
Date of MFG: _____ Manufacturer Name/Model Name: _____
Insignia/HUD: _____ Label No.: _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____ Date: 7/20/15

(Signature Required) _____ Date _____

DEPARTMENT USE ONLY

ID. No. 42-018-MP

MR. AS. MH

Closed By: _____ Date Closed: _____

COLLECTION INFORMATION

Collection # 8579393

Fee Rec'd 547

Collection Date 7/21/15

Assigned To Pergeson

Reviewed By Green

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579393

MH AGGS \$234.50

MP _____

BLDG _____

MH _____

MISC. \$186.00

TECHSER _____

PLOK \$117.00

S.M.I. _____

ISSUE _____

TOTAL \$547.50

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 10/6/15

Issued By Pergeson

Expires 4/6/16

Page 197 of 346



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS

Required for commercial structures or recreational vehicles

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor License Law for the following reason (Sec. 7031.5, Business and Professions Code). Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 9, (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself, or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor License Law.

I am exempt under Sec. _____ B. & P.C. for the reason:

Owner: Al Flying Aug IK Date: 7/21

3. WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____
 Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that I should become subject to workers' compensation provisions of Section 3700 of the Labor Code. I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Name _____
 Address _____

DISCLAIMER

I (we) have read this application, and state that the information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 7/20/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 180 Ave of the Flags

City Buellton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated

Park Owner FPA Flying Flags Assoc

APPLICANT Rick Kippers

CONTRACTOR OWNER Other _____

Address Same as Above

Tel. No. (816) 324 8310

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered Area

13'6" x 44'

Valuation \$ 8,900

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch ~~Other~~

Other (specify) _____

OWNER FPA Flying Flags Tel. No. (805) 570-6402

Address 180 Ave of the Flags

RESIDENT _____ Tel. No. _____

Lot No. S1#F

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/

Insignia/HUD _____ Model Name _____

Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED _____

Signature (required) _____ Date 7/20/15

3. DEPARTMENT USE ONLY

ID. No. 42-0118

MP AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8579399

Fee Rec'd 547

Collection Date 7/21/15

Assigned To Pergesen

Routed By N Olson

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579399

MH ACC'S \$ 224.

MP _____

BLDG _____

MH _____

MISC. DOUBLE FEE \$ 196.

TECH SER. _____

PLCK \$ 117.

S.M.I. _____

ISSUE _____

TOTAL \$ 547.

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local File _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact _____

Fees _____

Date 10/6/15

Issued By N Olson

Expires 7/6/16

Page 198 of 346



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
 If required for commercial structures or Recreational Vehicles

1. LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the contractor license law for the following reason (Sec. 7031.5, Business and Professions Code). Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 9, (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon and who does such work himself, or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor License Law.)

I am exempt under Sec. _____ B. & P.C. for the reason:

Owner: FPA Flying Flags LLC Date: 7/21

3. WORKERS' COMPENSATION DECLARATION
 I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____
 Policy Number: _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____
 Lender's Address _____

CERTIFICATION

I certify that I have read the application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to Building Construction and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 7/24/15

(SECTION 1 - OWNER/APPLICANT INFORMATION)

Park Name Flying Flags RV Resort

Park Address 180 Ave of the Flags

City Buckton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated

Park Owner FPA Flying Flags

APPLICANT Rick Kopper

CONTRACTOR OWNER Other _____

Address SAME AS ABOVE

Tel. No. (810) 324 8310

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

(SECTION 2 - DESCRIPTION OF WORK AND VALUATION)

Covered AREA
13'-6" x 44"

Valuation \$: _____

(SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES)

NEW REINSTALL Standard Plan Approval No. _____

Swimming Copart Patch Cabana

Other (specify) _____

OWNER FPA Flying Flags LLC Tel. No. (805) 570-6402

Address 180 Ave of the Flags

RESIDENT _____ Tel. No. _____

Lot No. ST# 9

(SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION)

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/Model Name _____

Insights/HUD Label No. _____

(SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE)

APPROVED: _____ Date 7/24/15

(Signature Required) _____ Date _____

DEPARTMENT USE ONLY

ID No. 42-01181

MR AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8579400

Fee Rec'd 547

Collection Date 7/21/15

Assigned To Pergerson

Routed By H Green

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579400

MFAGCTS \$ 237

MP _____

BLDG _____

MH _____

MISC. 2012-12 \$ 196

TECH SER. _____

PLCY \$ 117

S.M.I. _____

ISSUE _____

TOTAL \$ 547

DIVISION PROCESS RECORD

Applications _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 7/24/15

Issued by H Green

Expires 7/16



APPLICATION FOR PERMIT TO CONSTRUCT
 (SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
 (Required for commercial mobilehome or recreational vehicles)

1. LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit, subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, am an employee with wages as their sole compensation, will do the work and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvement is not intended to be offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor License Law.

I am exempt under Sec. _____ B. & P.C. for this reason:

Owner _____ Date _____

3. WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers compensation laws of California, and agree that I shall become subject to workers compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEYS FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

CERTIFICATION

I hereby certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 7/20/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 100 AVE of the Flags

City Buckton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated

Park Owner FPA Flying Flags LLC

APPLICANT Pick Koppers

CONTRACTOR OWNER Other _____

Address SAME AS ABOVE Tel. No. (916) 524 8310

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered AREA

13'-6" x 44'

Valuation \$: _____

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER FPA Flying Flags LLC Tel. No. (805) 570-6102

Address 100 AVE of the Flags

RESIDENT _____ Tel. No. _____

Lot No. ST#H

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG _____ Manufacturer Name/Model Name _____

Insignta/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____ Date 7/20/15

Signature (Required) _____ Date _____

DEPARTMENT USE ONLY

ID. No. 42-0118-N

MP AS MHI

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8579401

Fee Rec'd 547

Collection Date 7/21/15

Assigned To Perry

Rated By N Green

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579401

MH ACCTS \$237

MP _____

BLDG _____

MHI _____

MISC: DOUBLE FEE \$196.

TECH SER: _____

PLCK \$117.

S.M.I. _____

ISSUE _____

TOTAL 5547.

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 10/16/15

Issued By N Green

Expires 7/20/16



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS

If required for commercial modules or Recreational Vehicles

1. LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5) Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself, or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____ B & P.C. for this reason: _____

Owner: EPA Flying Flags LLC Date: 7/21

3. WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____

Policy Number: _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall faithfully comply with those provisions.

Applicant: _____ Date: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name: _____

Lender's Address: _____

CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: _____ Date: 7/20/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name: Flving Flags RV Resort

Park Address: 180 Ave of the flags

City: Buelton County: Santa Barbara

Zip: _____ Unincorporated _____ Incorporated

Park Owner: EPA Flying Flags LLC

APPLICANT: Rick Kippers

CONTRACTOR OWNER Other _____

Address: Same as Above

Tel. No: (916) 324-8340

Architect/Engineer: _____ Lic. No. _____

Address: _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered AREA
13-6 X 44'

Valuation \$: _____

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify): _____

OWNER: EPA Flying Flags LLC Tel. No. _____

Address: 180 Ave of the flags

RESIDENT: _____ Tel. No. (805) 570-6402

Lot No. ST # I

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner: _____ Tel. No. _____

Address: _____

Resident: _____ Lot No. _____

Serial Number(s): _____

Date of MFG: _____ Manufacturer Name/Model Name _____

Insigra/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____

Signature (Required): _____ Date: 7/20/15

DEPARTMENT USE ONLY

ID No. 42-0118-1

MP MP MP MP

Closed By: _____

Date Closed: _____

COLLECTION INFORMATION

Collection # 8579402

Fee Rec'd 547-

Collection Date 7/21/15

Assigned To Pergesen

Routed By N Green

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579402

MP ACCTS \$ 234

MP ISSUE

BLDG: _____

MISC. DOUBLE FEE

\$ 196.-

TECH SER: _____

FLOX \$ 117.-

SMI: _____

ISSUE \$ 547.-

TOTAL \$ 547.-

DIVISION PROCESS RECORD

Application: _____

Local Planning: _____

Local Fire: _____

Local Health: _____

Public Works: _____

Environmental Impact: _____

Negative Declaration: _____

School Impact Fees: _____

Date: 10/6/15

Issued By: H. Green

Expires: 4/6/16

Page 201 of 846



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER/BUILDER DECLARATIONS
 (Required for Commercial structures or Recreational Vehicles)

1. LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____

Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor License Law for the following reason (Sec. 7031.5) Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.)

I, as owner of the property, or my employee with wages at the sole compensation we do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor licensed pursuant to the Contractor License Law.

I am exempt under Sec. _____ B. & P.C. for this reason:

Owner: FPA Flying Flags LLC Date: 7/21

3. WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____

(This section need not be completed if this permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Address _____

CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city, county, and state laws relating to building construction, and hereby authorize representative of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 7/21/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 180 AVE of the Flags

City Buelton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated

Park Owner FPA Flying Flags LLC

APPLICANT Rick Koppers

CONTRACTOR OWNER Other _____

Address SAME AS ABOVE

Tel. No. (916) 324-8390

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered AREA

13'-6" x 44'

Valuation \$ _____

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER FPA Flying Flags LLC Tel. No. (605) 570-8100

Address 180 AVE. of the Flags

RESIDENT _____ Tel. No. _____

Lot No. # 301

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG _____ Manufacturer Name/Model Name _____

Insignia/HUD Label No. _____

SECTION 5 - PART OWNER, OPERATOR OR MAJOR SIGNATURE

APPROVED: _____

(Signature Required) _____ Date 7/21/15

DEPARTMENT USE ONLY

Permit ID No. 42-0118-1

MR AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8579403

Fee Rec'd 547

Collection Date 7/21/15

Assigned To Purgeson

Routed By N Clark

Upon Department approval to release and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579403

MH ACQ'S \$ 234

MP _____

BLDG _____

MH DOUBLE FEE

MSC \$ 196

TECH SER. _____

PLCK \$ 117

SIML _____

ISSUE _____

TOTAL \$ 547

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 10/6/15

Issued By N Clark

Expires 4/6/16

Page 202 of 640



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER/BUILDER DECLARATIONS

Required for commercial structures or Recreational Vehicles

1. LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class UC Lic. No. Exp. Date
 Contractor Date

2. OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner/builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor's licensed pursuant to the Contractor License Law.

I am exempt under Sec. B. & P.C. for this reason:

Owner FPA Flying Flags LLC Date 7/21

3. WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

Policy Number
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant Date

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name
 Lender's Address

CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent [Signature] Date 7/20/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 180 Ave of the Flags

City Buelton County Santa Barbara

Zp 93427 Unincorporated Incorporated

Park Owner FPA Flying Flags LLC

APPLICANT Rick Kippes

CONTRACTOR OWNER Other

Address Same as above

Tel. No.

Architect/Engineer Lic. No.

Address Tel. No.

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered Area

13'-6" x 44'

Valuation \$

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No.

Awning Carport Porch Cabana

Other (specify)

OWNER FPA Flying Flags LLC Tel. No. (805) 520-6102

Address 180 Ave of the Flags

RESIDENT Tel. No.

Lot No. STA

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner Tel. No.

Address

Resident Lot No.

Serial Number(s)

Date of MFG Manufacturer Name/Model Name

Label No.

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: [Signature] Date 7/20/15

DEPOSIT USE ONLY

ID. No. 42-0118

MP AS MH

Closed By

Date Closed

COLLECTION INFORMATION

Collection # 8579404

Fee Rec'd 547

Collection Date 7/24/15

Assigned To Pergusen

Routed By [Signature]

Upon Department approval to release, and payment of fees, this permit is issued only for items indicated below.

PERMIT # 8579404

MISCELLANEOUS \$ 234

MISC. DOUBLE FEE \$196.-

TECH SER.

PLUCK \$ 117.-

SMALL

ISSUE

TOTAL \$ 547.-

DIVISION PROCESS RECORD

Application

Local Planning

Local File

Local Health

Public Works

Environmental Impact

Negative Declaration

School Impact Fees

Date 10/6/15

Issued By [Signature]

Expires 4/6/16



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
 Required for commercial buildings or Recreational Venues:

1. LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____

Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any, city or county which requires a permit to construct, after improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit, subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages at their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not financed or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under sec. _____ B. & P. C. for this reason: _____

Owner: FPA Flying Flags LLC Date: 7/21

3. WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
 Carrier: _____

Policy Number: _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
 Applicant: _____ Date: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE INTEREST, AND ATTORNEYS FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 20977, C.C.P.).

Lender's Name: _____

Lender's Address: _____

5. CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: _____ Date: 7/20/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name: Flying Flags RV Resort

Park Address: 180 Ave of the Flags

City: Buellton County: Santa Barbara

Zip: 93127 Unincorporated Incorporated

Park Owner: FPA Flying Flags LLC

APPLICANT: Ron Redbone

CONTRACTOR OWNER Other: AGENT

Address: 180 Ave of the Flags

Tel. No.: (805) 570-6402

Architect/Engineer: _____ Lic. No. _____

Address: _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered Area
13-6 X 44

Valuation is: _____

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify): _____

OWNER: FPA Flying Flags LLC Tel. No. (805) 570-6402

Address: 180 Ave of the Flags

RESIDENT: _____ Tel. No. _____

Lot No.: ST#B

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner: _____ Tel. No. _____

Address: _____

Resident: _____ Lot No. _____

Serial Number(s): _____

Date of MFG: _____ Manufacturer Name: _____

Insig/a/RUD: _____ Model Name: _____

Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____ Date: 7/20/15

DEPARTMENT USE ONLY

ID. No. 42-0118

MP CAS MH

Closed By: _____

Date Closed: _____

COLLECTION INFORMATION

Collection # 8579405

Fee Rec'd: _____

Collection Date: 7/21/15

Assigned To: Pergerson

Routed By: N. G. ...

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579405

MH AGG'S \$ 234

MP: _____

BLDG: _____

MH: 50000

MISC: \$ 196

TECH SER: _____

PLCY: \$ 117

S.M.I.: _____

ISSUE: _____

TOTAL: \$ 547

DIVISION PROCESS RECORD

Application: _____

Local Planning: _____

Local File: _____

Local Health: _____

Public Works: _____

Environmental Impact: _____

Negative Declaration: _____

School Impact Fee: _____

Date: 10/6/15

Issued By: N. G. ...

Expires: 4/6/16

Page 204 of 348



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER/BUILDER DECLARATIONS

Required for commercial structures or Recreational Vehicles

1. LICENSED CONTRACTOR'S DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9, (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class UC No. Exp. Date

Contractor Date

2. OWNER-BUILDER DECLARATION
 I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5) Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9, (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages at their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor's licensed pursuant to the Contractors License Law.)

I am exempt under Sec. B. & P.C. for this reason:

Owner FPA Flying Flags LLC Date 7/2/15

3. WORKERS' COMPENSATION DECLARATION
 I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

Policy Number

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner to or to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant Date

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3092, CIV. C.).

Lender's Name

Lender's Address

CERTIFICATION

I certify that I have read this application and state that the above information is correct, I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent Date 7/2/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 180 Ave of the Flags

City Buelton County Santa Barbara

Zip 93427 Unincorporated Incorporated

Park Owner FPA Flying Flags LLC

APPLICANT Rick Kippes

CONTRACTOR OWNER Other

Address SAME AS ABOVE

Tel. No. (916) 324-8340

Architect/Engineer Lic. No.

Address Tel. No.

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Covered Area

13'-6" x 44'

Valuation \$

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No.

Awning Carport Porch Cabana

Other (specify)

OWNER FPA Flying Flags LLC Tel. No. (805) 570-6400

Address 180 Ave of the Flags

RESIDENT Tel. No.

Lot No. 5TH ST #C

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner Tel. No.

Address

Resident Lot No.

Serial Number(s)

Date of MFG. Manufacturer Name/Model Name

Insignia/HUD Label No.

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED Date 7/2/15

DEPARTMENT USE ONLY

ID. No. 42-0118

MP AS MH

Classified By

Date Closed

COLLECTION INFORMATION

Collection # 8579406

Fee Rec'd 547

Collection Date 7/2/15

Assigned To Pergosen

Route By NLMAN

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579406

MH ACC/S \$ 234

MP

BLDG

MH

MISC. DOUBLE FEE \$ 196

TECH SER.

PLCY \$ 117

S.M.A.

ISSUE

TOTAL \$ 547

DIVISION PROCESS RECORD

Application #

Local Planning

Local Fire

Local Health

Public Works

Environmental Impact

Negative Declaration

School Impact Fees

Date 7/6/15

Issued By NLMAN

Expires 7/6/16



Mobilehome and Special Occupancy Parks Programs
APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS

(Required for commercial structures or recreational vehicles)

1. LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor License Law.

I am exempt under Sec. _____ B & P.C. for this reason: _____

Owner: FPA Flying Flags LLC Date: 7/21

3. WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. Code).

Lender's Name _____
 Lender's Address _____

CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city, county ordinances and state laws relating to building construction and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 7/21/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 180 AVE of the Flags

City Buelton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated

Park Owner FPA Flying Flags LLC

APPLICANT: Rick Kieckers

CONTRACTOR OWNER Other Rick Kieckers

Address SAME AS ABOVE

Tel. No. (916) 324-8340

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

COVERED AREA

13'-6" x 44"

Valuation \$ _____

SECTION 3 - ACCESSORY BUILDINGS OR STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER FPA Flying Flags LLC Tel. No. (805) 570-1402

Address 180 AVE of the Flags

RESIDENT _____ Tel. No. _____

Lot No. ST#D

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG _____ Manufacturer Name/Model Name _____

Insignia/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____

(Signature Required) _____ Date 7/21/15

DEPARTMENT USE ONLY

NO. 42-0118

ID. No. _____

MP AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8579407

Fee Rec'd 547

Collection Date 7/21/15

Assigned To Pergeon

Routed By H Green

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8579407

MH AGG/S \$ 234

MP _____

BLDG _____

MHI Bubble Fee

MISC. \$ 196

TECHSER _____

FLOOR \$ 117

SIML _____

ISSUE _____

TOTAL \$ 547

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fee _____

Date 10/6/15

Issued By H Green

Expires 4/6/16

Existing Structure
Existing Structure
Existing Structure

Structures & Projections must be 3' minimum from lot lines

Corner Marker

Corner Marker

Corner Marker

60'

90'

15'

100' x 75' Width and length of lot

136' x 44' Width and length of home

STREET

Corner Marker

Corner Marker

Existing Structure

Existing Structure

Existing Structure

Indicate distances to all lot lines

CHECK ONE BOX

Home above Grade

Home below Grade

APPROVED

Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.

MANUFACTURED HOME

OCT 06 2015

Al Gary

State of California
Department of Housing and Community Development
Division of Codes and Standards

15'

STREET

Width and length of lot: 100 x 75

Width and length of home: 136' x 44'

1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g., deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate the exact distances from structures on adjacent lots if located within 10 (ten) feet of your lot line.
3. Enter length & width of the manufactured home (including eaves) and length & width of lot.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be properly graded to ensure that water cannot accumulate beneath the manufactured home.

A) Park Name Fluys Flags R U Resort

Homeowner Name Fluys Flags LLC

Homeowner Address 180 Ave of the Hoop

City Sutton Zip 93267

B) Design Information:

Home Amperage: _____ Pedestal Amperage: 110 200'

Home Voltage: _____ Pedestal Voltage: _____

Home Roof Load: _____ PSF

Roof Load for locality: _____ PSF

C) Is the park located in a snow area requiring 30 lb or greater roof loading? YES NO

D) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations Sections 1104 or 2104 in the following manner:

stakes

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

STATEMENT OF RESPONSIBILITY:
(ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

[Signature]

Signature of Park Owner, Operator, or Manager

State of California
Department of Housing and Community Development
Division of Codes and Standards



Northern Area Office
9342 Tech Center Drive, Suite 550
Sacramento, CA 95826

Southern Area Office
3737 Main St. Ste 400
Riverside, CA 92501

LOT PLOT PLAN AND PARK INFORMATION

A) Park Name Elving Eloggs RV Resort
 Homeowner Name 180 Ave. of Eloggs S# B-Sakura
 Homeowner Address Buellton, CA Zip 93427

B) Design Information:
 Home Amperage: N/A Pedestal Amperage: 50/30
 Home Voltage: N/A Pedestal Voltage: 120
 Home Roof Load: N/A PSF
 Roof Load for Locality: N/A PSF

C) Is the park located in a snow area requiring 30 lb or greater roof loading? YES NO

D) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of California Code of Regulations, Sections 1104 or 2014 in the following manner:
N/A

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

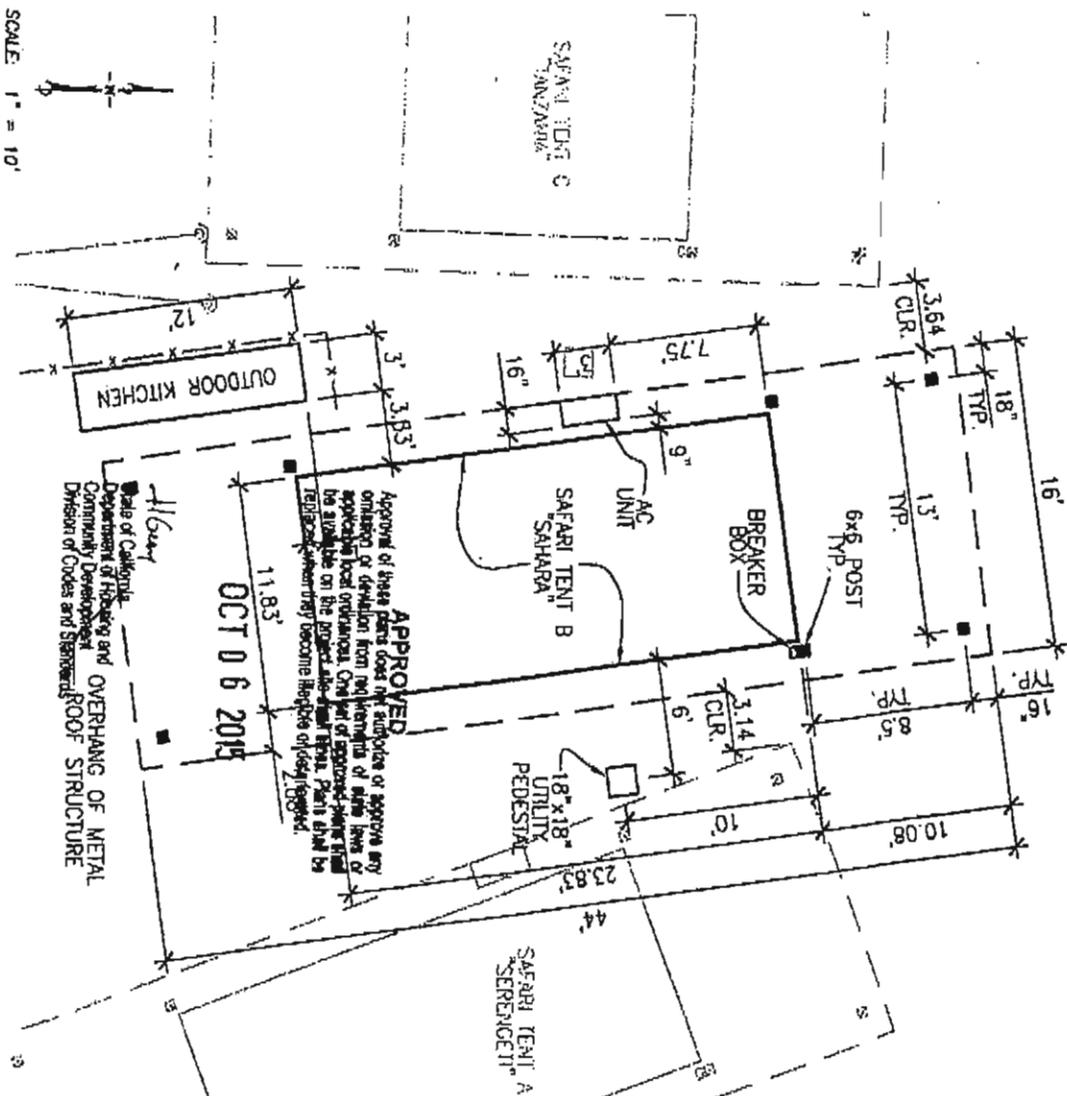
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager



PREPARED BY:
 SID GOLDSTIEN - CIVIL ENGINEER, INC.
 650 ALAMO PINTADO ROAD, SUITE 302
 SOLVANG, CA. 93463
 (805) 688-1526
 www.sjgece.com

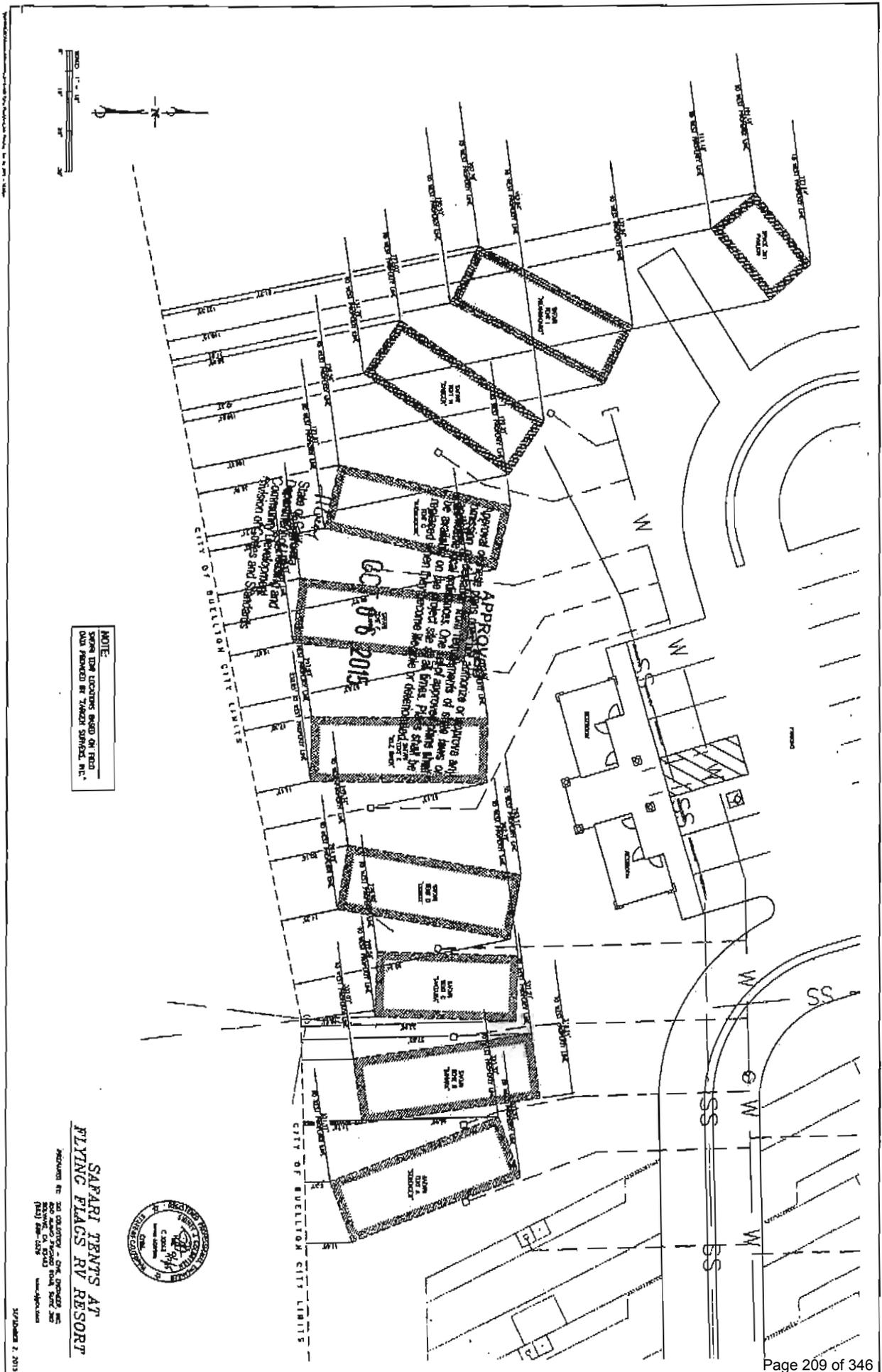


Width and length of lot: _____ X _____ Width and length of home: _____ X _____

1. Draw and proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate the exact distances from structures on adjacent lots if located within 10 (ten) feet of your lot line.
3. Enter length & width of the manufactured home (including eaves) and length & width of lot.
4. No vegetation is allowed under the manufactured home or hydrolicable accessory structure. Lot must be properly graded to ensure that water cannot accumulate beneath the manufactured home.

Typical for UCD 50 Permit Application numbers 8579393, 8579399, 8579400, 8579401, 8579402, 8579403, 8579404, 8579405, 8579406 and 8579407.

Plot Plan typical for HCD 50 Permit Application numbers
 3393, 8579399, 8579400, 8579401, 8579402, 9403, 8579404, 8579405, 8579406, and 8579407.

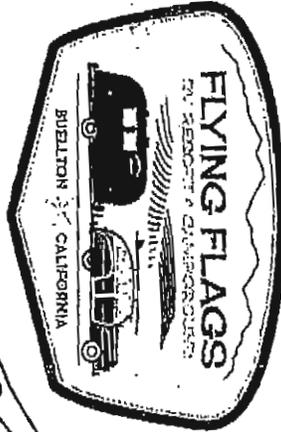


NOTE:
 SOME ITEM LOCATIONS SHOWN ON THIS
 PLAN MAY BE CHANGED BY THE ARCHITECT
 WITHOUT NOTICE.

SAFARI TENTS AT
 PLYING FLAGS RV RESORT
 30000 S. 100th St., Bullion City, MO 64601
 (417) 888-1839



- Super Premium Site
- Premium Plus Site
- Premium Site
- Deluxe Site
- Rental Cottages
- 8 At-streams
- Zaco Tent Site
- Safari Tent Site
- Tent Site
- Buldy Sites
- Trash Station
- Worker



APPROVED

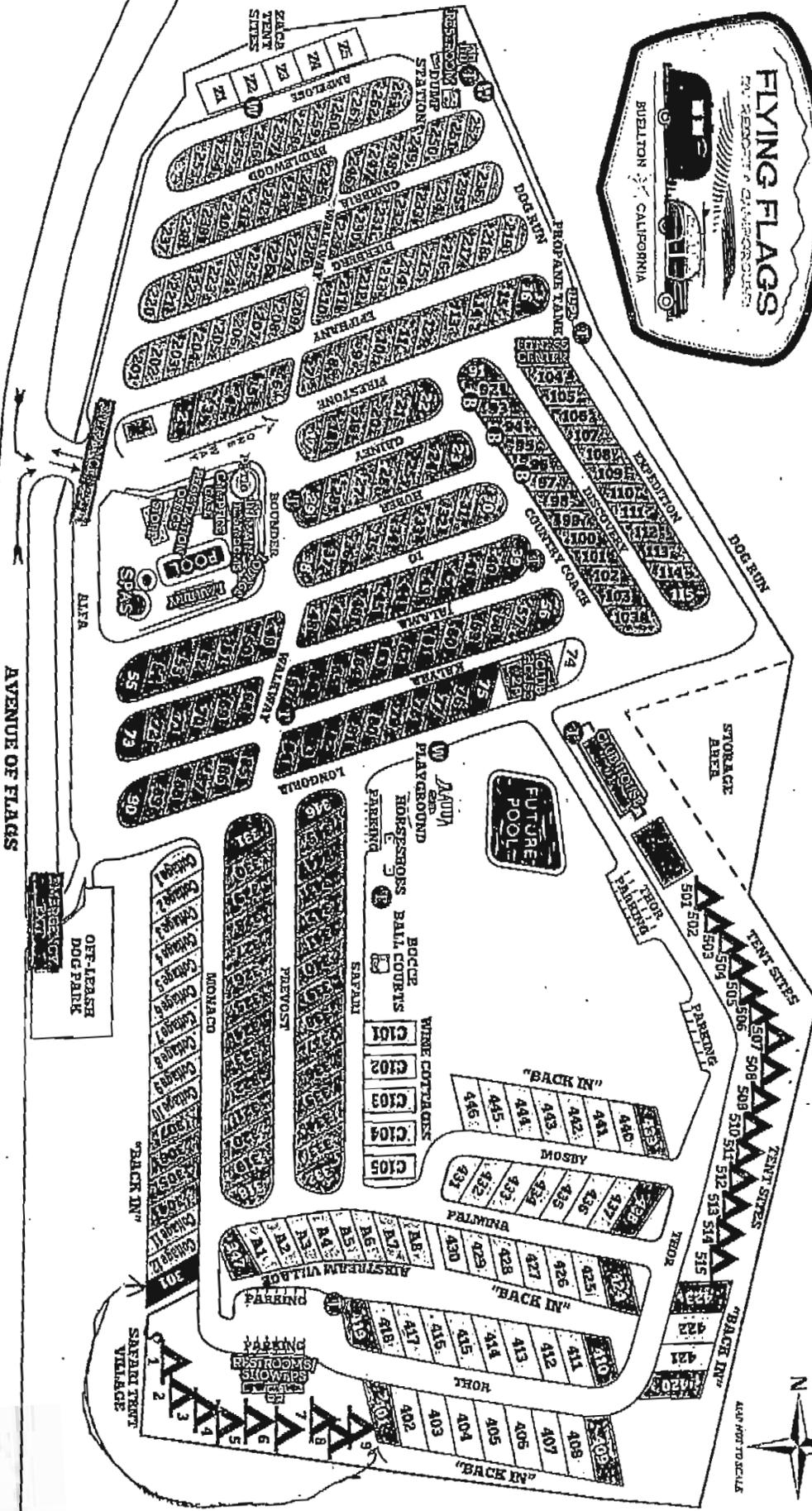
5102 9 0 130

Handwritten signature

Approved for the use of the above described property as a...
 The use of the above described property for...
 is hereby approved for a term of...
 and the use of the above described property for...
 is hereby approved for a term of...
 and the use of the above described property for...
 is hereby approved for a term of...

WE WORK HARD ALL DAY TO KEEP OUR FACILITIES CLEAN.
 The facilities will be closed at these times for "Super Cleaning":

Main Restrooms: 3:00 PM - 4:00 PM
 North Restrooms: 9:00 AM - 10:00 AM
 South Restrooms: 10:30 AM - 11:30 AM
 Laundromat: 8:00 AM - 9:00 AM



**Flying Flags RV Resort
180 Ave of the Flags
Buelton, CA 93427**

Structural Engineering Report typical for HCD 50 Permit Application numbers
8579393, 8579399, 8579400, 8579401, 8579402, 8579403, 8579404, 8579405, 8579406, and 8579407.

APPROVED
Approval of these plans does not authorize or approve any
omission or deviation from requirements of state laws or
applicable local ordinances. One set of approved plans shall
be available on the project site at all times. Plans shall be
replaced when they become illegible or deteriorated.

OCT 06 2015

H. Gray
State of California
Department of Housing and
Community Development
Division of Codes and Standards



July 15, 2015

Flying Flags Resort
180 Ave of Flags
Buellton, CA 93427

Re: Structural Calculations, Tent Cabins, 180 Ave of Flags, Buellton, CA

Dear Sirs:

As per your request Braun & Associates is pleased to submit the structural calculations to be incorporated with your tent cabin design. Included in this report is one copy of the structural calculations, stamped and signed by a registered Civil Engineer.

Structural calculations are based on the following criteria.

GOVERNING CODES: 2013 CALIFORNIA BUILDING CODE

Design Criteria

- Concrete..... $f'_c = 2500\text{psi}$
- Structural Steel.....Wide Flange Beams $f'_y = 50000\text{ psi}$
Structural Steel Columns $f'_y = 50000\text{ psi}$
Steel Plate $f'_y = 36000\text{ psi}$
- Timber.....2x studs; Stud grade or better
4x and 6x beams; No. 1 grade
- Rebar.....#3 through #5 grade 40
#6 and larger grade 60
- Metal Connectors.....Simpson Strong-tie or equiv.
Catalogue C-2015

Should you have any further questions regarding this matter please feel free to call me at (805) 688-5429.

BRUN & ASSOCIATES, INC

Mark D. Braun, P.E.
M.D.B.



APPROVED
Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.

OCT 06 2015

H. Gray
State of California
Department of Housing and
Community Development
Division of Codes and Standards

Notice to Owner

The engineer does not warrant or guarantee the accuracy and completeness of the work herein beyond a reasonable diligence and this structural design has incorporated a reasonable assumption of economy of design. If any omissions, mistakes, or discrepancies are found to exist within the work product, the engineer shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the engineer of such conditions shall absolve him from any responsibility for the consequences of such failure. The contractor shall be required to perform and install any and all work, labor and materials which are necessary, inferred or required to produce the intended results. All contractors shall be licensed and insured otherwise the engineer does not assume any responsibilities for the engineers work product. Contractor shall verify all dimensions, elevations and shall evaluate the existing site and design conditions prior to starting any work. The contractor shall promptly and before such conditions are disturbed, notify the design professionals in writing of subsurface or latent physical conditions at the site differing materially from those indicated in the documents or unknown physical conditions at the site of an unusual nature differing materially from those ordinarily encountered and generally recognized as inherent in the work of the character provided for in this product.

The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all constructions means, methods, techniques, sequences and procedures and for coordinating all portions of the work and shall be in strict accordance with the best standard specifications of materials and applications. All finish material shall be approved by the owner prior to installation. The contractor is responsible for installing all required temporary bracing and shoring to insure the safety of the work until it is completed. He shall insure that all applicable safety laws are strictly enforced. He shall protect all work and materials from any damage.

Engineer always recommends a soils report from the owner. If one is not provided, the engineer shall design footings per Chapter 18 of the CBC. Site observation and site review shall be per separate contract with the owner.

Should any dispute arise regarding this work; all parties agree that the sole remedy for any such dispute shall be decided by the procedures provided by the American Arbitration Association and this arbitration shall be binding upon all parties and if the engineer is found to have performed his work per contract or agreement, then the engineer shall be reimbursed for reasonable attorney's fees and in addition if it is found that a "bad faith" claim, or omission or deviation from requirements of state law or professional negligence. One set of approved plans shall be available on the project site at all times. Plans shall be available for review, if needed or delugated.

APPROVED
BY THE OWNER
DATE: _____

OCT 06 2015

H. Gary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

GENERAL REQUIREMENTS

1. Verify all dimensions, elevations and site conditions before starting work. Notify the engineer immediately of any discrepancies.
2. Notes and details on the drawings take precedence over the general notes and typical details in case of conflict.
3. All materials and work shall conform to the requirements of the 2013 California Building Code (CBC).
4. Provide manufacturer's approved product evaluation reports (ICC Reports) and a list of all proposed substitutions to the engineer for review and written approval before fabrication.
5. Where construction details are not shown or noted for any part of the work, such details shall be the same as for similar work shown on the drawings.
6. Pipes, ducts, sleeves, chases, etc., shall not be placed in slabs, beams or walls unless specifically shown or noted, nor shall any structural member be cut for pipes, ducts, etc., unless specifically shown. Obtain prior written approval for installation of any additional pipes, ducts, etc.
7. Locate and protect underground or concealed conduit, plumbing or other utilities where new work is being performed.
8. Materials shall be evenly distributed if placed on framed floors or roofs. Loads shall not exceed the allowable loading for the supporting members and their connections.
9. The contract drawings and specifications represent the finished structure and do not indicate methods, procedures or sequence of construction. Take necessary precautions to maintain and insure the integrity of the structure during construction. Neither the owner or architect/engineer will enforce safety measures or regulations. Contractor shall design, construct and maintain all safety devices, including shoring and bracing, and shall be solely responsible for conforming to all local, state and federal safety and health standards, laws and regulations.
10. Changes to the drawings must have prior written approval.

APPROVED
Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.

OCT 06 2015

H. Gray
State of California
Department of Housing and
Community Development
Division of Codes and Standards

CONCRETE
(CBC Chapter 19)

1. All concrete work shall conform to ACI 318 and CBC Chapter 19.
2. All cement shall be ASTM C-150, Type II, aggregate shall be ASTM C-33, Standard Weight. All reinforcement shall be ASTM A-615, Grade 60 typical. Anchor bolts shall be ASTM A-36, hooked anchor bolts or ASTM A-307, headed machine bolts.
3. All concrete minimum ultimate compressive strength of 2500 PSI at 28 days. Design strength is 2500 PSI. Slump shall not exceed 3 1/2"
4. The minimum concrete cover for those parts of the project that are cast and exposed to earth is 3", for that which is exposed to earth or weather minimum shall be 2". Areas which are not exposed to weather or in contact with ground slabs, walls, joists cover shall be 3/4" and beams, columns (ties, stirrups, spirals) cover shall be 1 1/2".
5. Reinforcing bars shall be of intermediate grade conforming to ASTM A615 Grade 40 for #5 and smaller and Grade 60 for #6 and larger.
6. Cement shall be Type II Low Alkali conforming to CBC Chapter 19 and ASTM C-845.
7. All aggregate used in the concrete shall conform to ASTM C-33. Use only aggregates known not to cause excessive shrinkage.
8. Coarse aggregate shall be "Heavy Media" processed.
9. Splices of reinforcing steel shall be lapped pre typical details and securely wired together. Splices of adjacent reinforcing bars shall be staggered wherever possible.
10. Locations of sleeves for pipes for which no specific details are shown are subject to the approval of the structural engineer.
11. Interior and exterior concrete slabs on grade shall be reinforced with #3 @ 16" O.C. each way placed in the center of the slab. This reinforcing shall be supported by concrete blocks 1 1/2" thick, spaced at intervals not exceeding 4'.
12. Concrete mix design shall conform to CBC Chapter 19 and ACI 318. Reinforcing of the concrete mixes shall be by method #2 or #3 and shall be designed by an approved laboratory. Copies of each mix shall be submitted to the structural engineer for review and comments prior to placing any concrete.

APPROVED
Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable ordinances. Copies of approved plans shall be available on the project site at all times. Plans shall be reproduced from the same file or dated printed.

OCT 06 2015

H. Geary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

13. Forms for concrete work shall not be removed without the approval of the structural engineer.
14. Splices for beam and slab reinforcing steel shall be made at supports for bottom bars and splices for the top bars shall be made near the center of the span.
15. No concrete pour shall be made until steel placement has been approved by the structural engineer.
16. Maximum aggregate size shall be 1" max in slabs.
17. Tie all slabs on grade to intersecting wall with #3 ties @ 16" O.C. Extend ties 16" into slab and 6" into wall with an additional 6" hook on the end.
18. All saw cuts in concrete floors shall be made not later than 12 hours after placing concrete.
19. No pipes, conduits or ducts shall be placed in concrete columns, beams, walls or slabs unless specifically approved or detailed.
20. All anchor bolts, reinforcing steel, dowels, inserts, etc shall be well secured in position prior to placing concrete.
21. Backfill behind retaining wall shall not be placed sooner than 14 days after concrete is placed.
22. All concrete except slabs on grade shall be vibrated as it is being placed with electrically operated vibrating equipment. Do not use vibration to move concrete into position. Use vibration for consolidation only.
23. The design, construction and safety of all formwork, shoring and re-shoring shall be the complete responsibility of the contractor.
24. Expansion joint filler (exterior) to be asphalt and vegetable fiber composition, 1/2" thick unless otherwise noted.
25. Slabs shall be sprayed with a curing compound immediately after finishing.
26. Concrete cylinders shall be made and tested. One set of at least three cylinders shall be made of each class of concrete placed each day. For each 50 cubic yards of concrete placed or one set of cylinders for each 2000 square feet of surface area of slabs or wall. Strength shall be determined as the average of the compressive strength of two cylinders made from the same sample of concrete and tested at 28 days. In addition, samples for each class of concrete shall be taken for seven day tests at the beginning of the concrete work or whenever the mix or aggregate is changed.

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Division of Codes and Standards

27. All cylinders shall be taken, prepared and tested by an approved testing agency in accordance with ASTM C-192, C-172, C-31 and C-39. Testing shall comply with CBC Chapter 19.
28. Reinforcement spacing between parallel reinforcement in a layer shall not be less than 1 ½ times the nominal diameter of the reinforcement, or 1 1/3 times the maximum size aggregate, nor less than 1 ½".
29. Tack welding, welding, heating or cutting of bars is not permitted, unless otherwise noted.
30. Provide 2-#4 x 4'-0" at re-entrant corners and each corner of rectangular holes in slabs. Bars shall be placed diagonally.
31. Splices shall be 40 diameters or 24 inches whichever is greater, unless otherwise noted on drawings. Stagger bottom splices at least 5'-0" from splices in other bottom reinforcement. Stagger splices for top reinforcement similarly.
32. Anchor bolts, dowels and hold down anchors shall be securely held in place prior to foundation inspection by the building official and observation by the engineer.
33. Chamfer shall be ¾" on exposed corners.
34. Admixtures shall be reviewed by the engineer, calcium chloride or added chlorides are not permitted.
35. Construction joints ACI 117.9 , ¼" cut minimum or keyed joints per plan. Location of joints shall be reviewed by the engineer. Wait 48 hours between pours.
36. Location of slab-on-grade joints, construction, control and weakened plane joints not specifically indicated on the drawings shall be reviewed by the engineer prior to the placing of reinforcement. Maximum spacing is 10 feet on center.
37. Slab, wall, beam and column dimensions shown are actual dimensions, not nominal dimensions (i.e. A 4" slab is 4" thick, not 3-1/2")
38. Concrete curing shall be ACI 318.

WOOD
(CBC Chapter 23)

1. All 2 x posts to be No. 2 Douglas Fir or better, FB = 850 psi, FV = 180 psi, FC11 = 1400 psi, FT = 500 psi, FC⊥ = 625 psi, E = 1.6 x 10⁶ psi.

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2. All 4 x beams and posts to be No. 1 Douglas Fir, FB = 1150 psi, FV = 180 psi, FC11 = 180 psi, FT = 750 psi, FC \perp = 625 psi, E = 1.8 x 10⁶ psi.
3. For thickness nailing of plywood, see enclosed details. No structural plywood shall be covered over until inspection has been made and the nailing approved.
4. All framing lumber for 2x10, 2x12 and 6x material shall be Construction Grade Douglas Fir, S4S, unless noted otherwise on the drawings.
5. All framing lumber for 2x material UNO shall be Construction Grade Douglas Fir S4S, unless otherwise noted on the drawings.
6. Stripping, blocking, backing and other non-structural lumber shall be Construction Grade Douglas Fir, S4S. Interior non-bearing 2x4 stud walls may be Douglas Fir Larch Standard grade.
7. All plates on concrete or masonry shall be Doug Fir pressure impregnated with an approved preservative.
8. All beams, joists and rafters shall be installed with the crown side up.
9. Roof plywood shall be 5/8" APA rated sheathing exposed with a span index ratio 32/16. Edge nail with 10d @ 6" O.C. UNO on plans. Field nail with 10d @ 12" O.C. Use exterior grade at exposed edges and soffits.
10. Floor plywood shall be 3/4" APA rated Struct I plywood sheathing exposure, span index 48/24 T & G edge nail with 10d @ 6" O.C. unless otherwise noted on plans. Field nail with 10d @ 10" O.C.
11. Plywood sheets shall be laid with the face grain perpendicular to support and with the edges staggered, unless otherwise noted on plans.
12. Plywood shall be grade market by APA, TECO or PTL and shall conform to PS 2.
13. Anchorage of sill plates for non-bearing stud walls on concrete shall be with powder driven pins ESR-2138 which shall penetrate into concrete a minimum of 1 1/2". Powder driven anchors shall be spaced at 32" O.C. Max.
14. The maximum moisture content of all lumber shall not exceed 19%.
15. Holes in wood for bolts shall be drilled 1/16" larger than the normal size.

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16. Anchorage of sill plates for bearing walls, exterior walls and shear walls shall be 5/8" diameter x 10" anchor bolts at 4'0" O.C. with a bolt 9" from the end of each piece, unless otherwise noted on the drawings.
17. Minimum nailing shall comply with Table 2304.9.1 of 2013 California Building Code. All nails shall be common wire nails.
18. Holddowns shall have standard square plate washers. All other bolts shall have standard cut washers under heads and/or nuts, where in contact with wood.
19. Where stud wall terminates at a concrete or masonry wall, fasten the last stud to the wall with 5/8" x 6" embedment anchor bolts at the top, bottom and mid-height of the stud. Maximum vertical spacing of anchors shall be 6'0". Studs bolted to walls shall be PTFD.
20. Lag bolts shall be screwed into place, not driven.
21. Splices in upper and lower plates at top of studwalls shall be staggered at least 4'0" corners and intersections shall be halved. Double plate laps shall be nailed together with twelve(12) 16d nails unless otherwise noted.
22. All joists shall be solid blocked at points of bearing. Cross-bridging or solid blocking shall be placed between joists where the joist span exceeds eight feet. The distance between lines of bridging shall not exceed eight feet. Cross bridging may be omitted for roof and ceiling joists eight inches and less in depth.
23. Holes in wood for bolts shall be drilled 1/16" larger than the normal size of the bolt.
24. Anchorage of sill plates for bearing walls, exterior walls and shear walls shall be 5/8" diameter x 10" anchor bolts at 4'0" O.C. with a bolt 9" from the end of each piece, unless otherwise noted on the drawings.
25. Minimum nailing shall comply with Table 2304.9.1 of 2013 California Building Code. All nails shall be common wire nails.
26. Holddowns shall have standard square plate washers. All other bolts shall have standard cut washers under heads and/or nuts, where in contact with wood.
27. Where stud wall terminates at a concrete or masonry wall, fasten the last stud to the wall with 5/8" x 6" embedment anchor bolts at the top, bottom and mid-height of the stud. Maximum vertical spacing of anchors shall be 6'0". Studs bolted to walls shall be PTFD.
28. Lag bolts shall be screwed into place, not driven.

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29. Splices in upper and lower plates at top of studwalls shall be staggered at least 4'0" corners and intersections shall be halved. Double plate laps shall be nailed together with twelve(12) 16d nails unless otherwise noted.
30. All joists shall be solid blocked at points of bearing. Cross-bridging or solid blocking shall be placed between joists where the joist span exceeds eight feet. The distance between lines of bridging shall not exceed eight feet. Cross bridging may be omitted for roof and ceiling joists eight inches and less in depth.
31. Unless otherwise shown, all ceiling joists shall be 2x6 @ 16" O.C. Framing direction and supports shall be as directed by the architect.
32. Use double floor joists under parallel walls above UNO.
33. "TJI", "LSL", "PSL" are manufactured wood products by Trus Joist Macmillan per NER 119, 200 and 481. Substitutions shall be approved by the structural engineer prior to incorporation into the structure.
34. All sheet metal framing connectors shown on the plans shall be Simpson Strong Tie Connectors as shown in catalog C-2012. Substitutes may be made when pre-approved by the structural engineer.
35. Use of machine nailing is subject to a satisfactory jobsite demonstration for each project and the approval by the project architect and structural engineer. The approval is subject to be continued satisfactory performance. Machine nailing will not be approved in 5/16" plywood. If nailheads penetrate the outer ply more than would be normal for a hand hammer or if minimum allowable edge distances are not maintained the performance will be deemed unsatisfactory.
36. Re-tighten all bolts before closing in structure.
37. Nails shall be common wire unless otherwise noted. Edge or end distances in the direction of stress shall not be less than one half of the required penetration (Table 2304.9.1 & Section 2305. The spacing center to center of nails in the direction of stress shall not be less than the required penetration. Holes for nails, where necessary to prevent splitting, shall be bored to a diameter smaller than that of the nail.
38. Anchor bolts for foundations must be 5/8 inch diameter anchor bolts with a minimum of 7 inches embedment into the concrete and within 12 inches of each end of each plate. space anchors at 48 inches on center uon. Anchors shall be located a maximum of 2 inches from the face of stud receiving wood structural panels. Anchor bolt holes 1/32 to 1/16 inch larger than the anchor bolt diameter. Holes more than 1/16 inch larger than the anchor bolt shall be epoxy filled under the continuous supervision of a ~~qualified~~ special inspector.

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39. Not less than 7 bolt diameters from the end and 4 diameters from the edge of the member. bolt holes 1/32 to 1/16 inch larger than the bolt diameter. all nuts shall be tightened when installed and re-tightened at the completion of work or before closing in. Thread projection shall be 1/16 inch minimum beyond the nut. Bolts in specified slotted holes shall be centered in the slot uon.
40. Lag screw clearance and lead holes shall be bored as follows: The clearance hole for the shank shall have the same diameter as the shank, and the same depth of penetration as the length of unthreaded shank. The lead hole for the threaded portion shall have a diameter equal to 60% to 75% of the shank diameter and a length equal to at least the length of the threaded portion.
41. Anchor bolts, bolts, lags and nuts, noted pw, shall be square steel plate washers:

Bolt Diameter (IN)	Plate Thickness (IN)	Plate Dimension (IN)
1/2	9/16	2 X 2
5/8	1/4	3X3
3/4	5/16	3X3
7/8	5/16	3 X 3
1	3/8	3 1/2 X 3 1/2

42. Cut steel washers: For bolts, lags and nuts, unless otherwise noted.
43. Framing connectors per manufacturer's approved product evaluation reports ICC-ES approved and installed accordingly. Size and number of nails to be maximum specified by the manufacturer unless otherwise noted.
44. Nailed/screwed hold down anchors shall be installed per manufacturer's approved ICC-ES product evaluation report. Install hold downs 1/2 inch minimum above the plate to allow for tightening anchor bolt. The hold down shall be installed tight to the hold down post without fillers or dapping. do not bend hold down anchors.
45. Bolted hold down anchors shall be installed per manufacturer's approved ICC-ES product evaluation report. Install hold downs 1/2 inch minimum above the plate to allow for tightening anchor bolt. Tighten hold down anchor before tightening anchor bolts. The hold down shall be installed tight to the hold down post without fillers or dapping. the post bolts shall not be countersunk into the hold down post uon. Do not bend hold down anchors.
46. Wood exposed to the weather; foundation plates on concrete slabs, foundations which are in direct contact with earth shall be treated wood with preservative treatment required for use. newly exposed surfaces resulting from field cutting, boring or handling shall be field treated in accordance with A WPA M4.

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 Approval of these plans does not authorize or approve any
 other part of the building from requirements of state laws or
 applicable local ordinances. One set of approved plans shall
 be maintained on the premises at all times. Plans shall be
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116
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47. Top plates shall consist of two pieces, same size as studs, stagger splices 4'-0" minimum. center splices over studs. splice with 8-16d minimum unless otherwise noted.
48. Full-depth solid blocking or cross bracing shall be installed at intervals not exceeding 8 feet for all joists and rafters 2x12 and deeper.
49. Solid blocking: two inch full width blocking (Fire stops) in concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor levels and at 10-foot intervals both vertical and horizontal.
50. Do not cut, bore, countersink or notch wood members except where shown in the details. Holes through plates, studs and double plates in walls shall not exceed 40% the member width and shall be located in the center of the member.
51. Double joists under partitions parallel to joists and provide solid blocking under partitions perpendicular to joists.
52. End support: Roof and floor joists over 4 inches deep shall have their ends held in position with either: Full depth solid blocking; nailed bridging; nailing or bolting to other framing members; or approved joist hangers.
53. Galvanizing: All exposed steel timber hardware, fasteners and connectors.

NAILING SCHEDULE

2013 CBC Chapter 23 - Table 2304.9.1

The connections listed are the minimum permissible. Use common wire nails for all nailed connections. Where possible, nails driven perpendicular to the grain shall be used instead of toe nails. See the drawings for additional nailing requirements.

Connection	Fastening ^{a,m}	Location
1. Joist to sill or girder:	3 - 8d common	toenail
2. Bridging to joist:	2 - 8d common	toenail each end
3. 1" x 6" subfloor or less to each joist:	2 - 8d common	face nail
4. Wider than 1" x 6" subfloor to each joist:	3 - 8d common	face nail
5. 2" subfloor to joist or girder:	2 - 16d common	blind & face nail
6. Sole plate to joist or blocking, typical:	16d @ 16" o.c.	typical
Sole plate to joist of blocking, at braced wall panels:	3 - 16d per 16"	typical
7. Top plate to stud:	2 - 16d common	end nail
8. Stud to sole plate:	4 - 8d common	toenail
	2 - 16d common	end nail
9. Double studs:	16d @ 24" o.c.	face nail
10. Doubled top plates:	16d @ 16" o.c.	typical
Doubled top plates:	8 - 16d common	lap splice

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- | | | |
|---|--------------------------------------|--|
| 11. Blocking between joists or rafters to top plate: | 3 - 8d common | toenail |
| 12. Rim joist to top plate: | 8d @ 6" o.c. | toenail |
| 13. Top plates, laps, & intersections: | 2 - 16d common | face nail |
| 14. Continuous header, two pieces: | 16d common | 16" o.c. along edge |
| 15. Ceiling joists to plate: | 3 - 8d common | toenail |
| 16. Continuous header to stud: | 4 - 8d common | toenail |
| 17. Ceiling joists, laps over partitions: | 3 - 16d common | Face nail |
| 18. Ceiling joists to parallel rafters: | 3 - 16d common | face nail |
| 19. Rafter to plate: | 3 - 8d common | toenail |
| 20. 1" Diagonal brace to each stud & plate: | 2 - 8d common | face nail |
| 21. 1" x 8" sheathing to each bearing: | 3 - 8d common | face nail |
| 22. Wider than 1" x 8" sheathing to each bearing: | 3 - 8d common | face nail |
| 23. Built-up corner studs: | 16d common @ 24" o.c. | |
| 24. Built-up girder and beams: | 20d common @ 32" o.c. | face nail at top and bottom staggered on opposite sides. |
| | 2 - 20d common | face nail at ends & at each splice. |
| 25. 2" planks: | 2 - 16d common | at each bearing |
| 26. Collar tie to rafter: | 3 - 10d common | face nail |
| 27. Jack rafter to hip: | 3 - 10d common | toenail |
| | 2 - 16d common | face nail |
| 28. Roof rafter to 2x ridge beam: | 2 - 16d common | toenail |
| | 2 - 16d common | face nail |
| 29. Joist to band joist: | 3 - 16d common | face nail |
| 30. Ledger strip: | 3 - 16d common | face nail |
| 31. Wood structural panels & particleboard | | |
| Subfloor, roof & wall sheathing (to framing): | | |
| 1/2" & less | 6d ^{e,l} | |
| 19/32" - 3/4" | 8d ^d or 6d ^e | |
| 7/8" - 1" | 8d ^e | |
| 1 1/8" - 1 1/4" | 10d ^d or 8d ^d | |
| Single Floor (combination subfloor-uderlayment to framing): | | |
| 3/4" and less | 6d ^e | |
| 7/8" - 1" | 8d ^e | |
| 1 1/8" - 1 1/4" | 10d ^d or 8d ^d | |
| 32. Panel siding (to framing): | | |
| 1/2" or less | 6d ^f | |
| 5/8" | 8d ^f | |
| 33. Fiberboard sheathing: | | |
| 1/2" | No. 11 ga. roofing 6d common nail | |
| | No. 16 ga. Staple | |
| 25/32" | No. 11 ga. roofing nail ^h | |

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8d common nail
No. 16 ga. stapleⁱ

34. Interior paneling:

1/4" 4d^j
3/8" 6d^k

- a. Common or box nails are permitted to be used except where otherwise stated.
- b. Nails spaced at 6" o.c. at edges, 12" at intermediate supports except 6" at supports where spans are 48" or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to CBC Code Section 2306. Nails for wall sheathing may be common, box or casing.
- c. Common or deformed shank (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
- d. Common (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
- e. Deformed shank (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
- f. Corrosion-resistant siding (6d - 1 7/8" x 0.106"; 8d - 2 3/8" x 0.128") or casing (6d - 2" x .099"; 8d - 2 1/2" x 0.113").
- g. Fasteners spaced 3" o.c. at exterior edges and 6" o.c. at intermediate supports, when used as structural sheathing. Spacing shall be 6" o.c. on the edges.
- h. Corrosion-resistant roofing nails with 7/16" diameter head and 1 1/2" length for 1/2" sheathing and 1 3/4" length for 24/32" sheathing.
- i. Corrosion-resistant staples with nominal 7/16" crown and 1 1/8" length for 1/2" sheathing and 1 1/2" length for 25/32" sheathing. Panel supports at 16" (20" if strength axis in the long direction of the pane, u.n.o).
- j. Casing (1 1/2" x 0.080) or finish (1 1/2" x 0.072) nails spaced 6" on panel edges, 12" at intermediate supports.
- k. Panel supports at 24". Casing or finish nails spaced 6" on panel edges, 12" at intermediate supports.
- l. For roof sheathing applications, 8d nails (2 1/2" x 0.113") are the minimum required for wood structural panels.
- m. Staples shall have a minimum crown width of 7/16".
- n. For roof sheathing applications, fasteners spaced 4" o.c. at edges, 8" at intermediate supports.
- o. Fasteners spaced 4" o.c. at edge, 8" at intermediate supports for subfloor and wall sheathing and 3" o.c. at edges, 6" at intermediate supports for roof sheathing.
- p. Fasteners spaced 4" o.c. at edges, 8" at intermediate supports.

2013 CALIFORNIA BUILDING CODE
Chapter 17

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Special inspection/inspector requirements

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Requirements for special inspection:

Special inspector: employed by the owner (CBC 1704.1).

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Reports: prepared by the inspector and signed by a civil engineer. Submitted to the building official and the [engineer]. All discrepancies shall be brought to the immediate attention of the contractor for correction; then, if not corrected, to the building official and the engineer. (CBC 1704.1.2).

The special inspection is to be continuous during the performance of the work unless otherwise specified.

Certification: inspector must be certified by the building official to perform the types of inspections specified.

Summary of structural continuous and periodic special inspections

The construction inspections listed are in addition to the inspections required by 2013 CBC Chapter 17. Special inspection is not a substitute for inspection by the building official. Specially inspected work that is installed or covered without the approval of the building official and the special inspector is subject to removal or exposure.

Responsibility: it is the responsibility of the general contractor to inform the special inspector or inspection agency at least 24 hours prior to performing any work that requires special inspection.

SPECIAL INSPECTIONS:

Concrete (CBC Table 1704.4): during the taking of test specimens and placing of reinforced concrete.

Bolts installed in concrete (CBC Table 1704.4): prior to and during the placement of concrete around bolts.

Reinforcing steel (CBC Table 1704.4): prior to closing of the forms and delivery of concrete for all concrete specified to have special inspection.

Diaphragms: continuous nailing inspection for all roof and floor diaphragms as noted on the drawings.

Shear walls: continuous nailing inspection for all walls as noted on the drawings.

Epoxy filled anchor bolt holes: continuous inspection for all epoxy filled anchor bolt holes.

Upon completion of work and prior to final certification the engineer of record shall be requested to review all work for conformance with project design and shall provide final approval in writing.

APPROVED
I hereby certify that the plans as submitted comply with all provisions of applicable laws, rules, regulations, codes, ordinances, and standards of the State of California, and I have no objection to the issuance of a building permit for the project described herein. Plans shall be available on the project site at all times. Plans shall be subject to the provisions of the Building Code of the State of California, and I shall become liable or deteriorated.

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Special structural observations by the engineer
(CBC 1709)

Notification: 48 hours before observation. Delinquent notification may require demolition of covering materials to facilitate observation.

Observations by the engineer:

- A) reinforcement before concrete placement.
- B) completion of rough framing.

Written statement (CBC 1709): the engineer responsible for the structural design (EOR) shall submit to the building official a written statement that the site visits have been made and identifying any reported deficiencies which, to the best of the structural observer's knowledge, have not been resolved.

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CALCULATION SHEET

PROJECT TENT CABZNS
SUBJECT COVERED STRUCTURE

JOB NO. 2587
BY MA3 DATE 7 JULY 15
CHECKED _____ DATE _____
SHEET NO. 1 OF _____

GROUND EXISTING TENT SUPPORT
STRUCTURE FOR CAVIAR
CALLEA & COVERED CAMP
SITE

SUPPORT BY WOOD & CON
FORMED STEEL FRAMING
SUPPORTED BY 6x6
TREATED WOOD POSTS

LOCATION

LAT = 34.603292

LONG = 120.49190

SITE LINES D

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PLAN

VERIFY

ETC
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FRAMING MEMBERS

FOR GRAVITY & LATERAL

LOADING

DESIGN CRITERIA

- 1) Soil supporting footings is natural grade
- 2) Soil allowable bearing pressure used in design 1500psf
- 3) Footing shall extend 12" minimum into undisturbed soil or 15" below finish grade
- 4) All concrete shall develop a minimum compressive strength of 2500 psi in 28 days
- 5) Reinforcing steel shall conform to ASTM 615, Grade 60
- 6) Structural steel shall conform to the following:

Wide flange shapes	ASTM A992
TS shapes	ASTM A500, Grade B
Pipe shapes	ASTM A53, Grade B
Other rolled shapes, Bars, and Plates	ASTM A36
Cold Formed Steel	ASTM A653

- 7) Structural steel shall be fabricated in a shop of an approved fabricator
- 8) All welding shall be done by AWS or agency approved Certified Welders
- 9) Concrete Block shall conform to ASTM C90, Grade N-1
- 10) Grout shall develop 2000 psi in 28 days
- 11) Mortar shall be Type S and develop 1800 psi in 28 days
- 12) All lumber shall be grade marked Douglas Fir (Grading rule No. 17)

Light Framing	Construction
Joist & Planks	No. 2
Beams & Stringers	No. 1
Posts & Timbers	No. 1

- 13) Glue Laminated Timbers shall be combination No. 24F-V

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- 14) Plywood shall conform to PS 1-95, Structural 1

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- 15) All material and workmanship shall conform to the requirements of the 2010 California Building Code

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DESIGN LOADS

ROOF LOADS
WOOD FRAMED

22 ga. CORRIGATED METAL	2.0 psf
WOOD RAFTERS	4.0 psf
CEILING	2.0 psf
MP&E / MISC.	1.0 psf
	<hr/>
D=	9.0 psf
Lr=	20.0 psf

ROOF LOADS
METAL FRAMED

22 ga. CORRIGATED METAL	2.0 psf
COLD FORMED RAFTERS	2.0 psf
CEILING	2.0 psf
MP&E / MISC.	1.0 psf
	<hr/>
D=	7.0 psf
Lr=	20.0 psf

CALCULATION SHEET

PROJECT TENT CABINS
 SUBJECT COVERED STRUCTURE

JOB NO. 2537
 BY MAAB DATE 7 JUL 15
 CHECKED _____ DATE _____
 SHEET NO. 4 OF _____

SOILS LATERAL LOADINGS

SEISMIC ANALYSIS

$S_{DS} = 1.199$

$S_{AI} = 0.625$

SOIL CLASS D

SEISMIC CATEGORY D

ROOF

AREA $40' \times 17' = 782 \text{ SF}$

WEIGHT $782 \text{ SF} \times 9 \text{ psf} = 704$

WOOD

$C_s = 7.04 / 1.25 = 5.6$

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USGS Design Maps Summary Report

User-Specified Input

Report Title Tent CABins
Tue July 7, 2015 17:15:06 UTC

Building Code Reference Document ASCE 7-10 Standard
(which utilizes USGS hazard data available in 2008)

Site Coordinates 34.60824°N, 120.19266°W

Site Soil Classification Site Class D - "Stiff Soil"

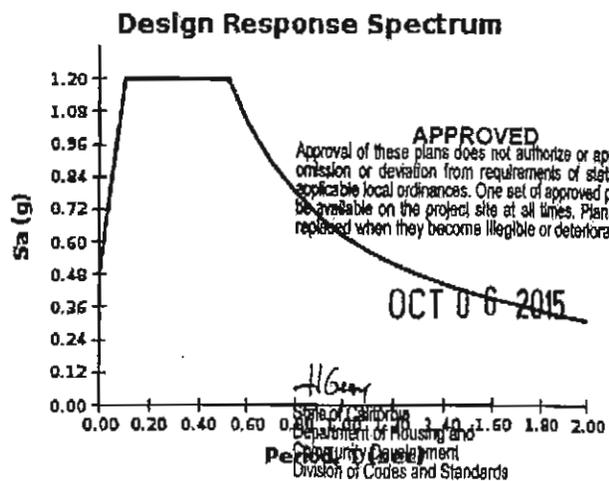
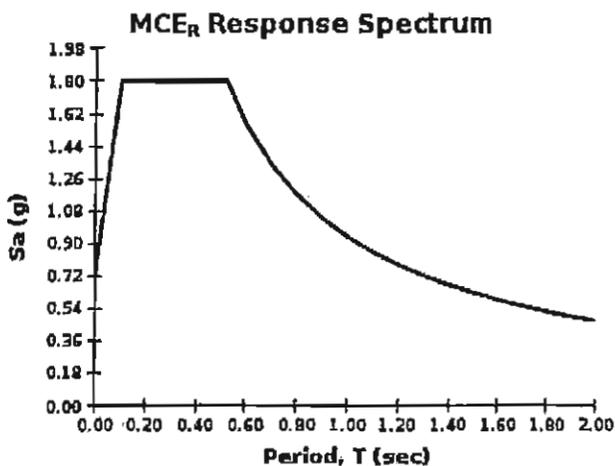
Risk Category I/II/III



USGS-Provided Output

$S_s = 1.799 \text{ g}$	$S_{M3} = 1.799 \text{ g}$	$S_{D2} = 1.199 \text{ g}$
$S_2 = 0.625 \text{ g}$	$S_{M1} = 0.938 \text{ g}$	$S_{O1} = 0.625 \text{ g}$

For information on how the S_s and S_1 values above have been calculated from probabilistic (risk-targeted) and deterministic ground motions in the direction of maximum horizontal response, please return to the application and select the "2009 NEHRP" building code reference document.



For PGA_M , T_L , C_{RS} , and C_{M1} values, please view the detailed report.

USGS Design Maps Detailed Report

ASCE 7-10 Standard (34.60824°N, 120.19266°W)

Site Class D – "Stiff Soil", Risk Category I/II/III

Section 11.4.1 – Mapped Acceleration Parameters

Note: Ground motion values provided below are for the direction of maximum horizontal spectral response acceleration. They have been converted from corresponding geometric mean ground motions computed by the USGS by applying factors of 1.1 (to obtain S_s) and 1.3 (to obtain S_i). Maps in the 2010 ASCE-7 Standard are provided for Site Class B. Adjustments for other Site Classes are made, as needed, in Section 11.4.3.

From **Figure 22-1** ⁽¹⁾

$$S_s = 1.799 \text{ g}$$

From **Figure 22-2** ⁽²⁾

$$S_i = 0.625 \text{ g}$$

Section 11.4.2 – Site Class

The authority having jurisdiction (not the USGS), site-specific geotechnical data, and/or the default has classified the site as Site Class D, based on the site soil properties in accordance with Chapter 20.

Table 20.3-1 Site Classification

Site Class	\bar{v}_s	\bar{N} or \bar{N}_{dr}	\bar{s}_u
A. Hard Rock	>5,000 ft/s	N/A	N/A
B. Rock	2,500 to 5,000 ft/s	N/A	N/A
C. Very dense soil and soft rock	1,200 to 2,500 ft/s	>50	>2,000 psf
D. Stiff Soil	600 to 1,200 ft/s	15 to 50	1,000 to 2,000 psf
E. Soft clay soil	<600 ft/s	<15	<1,000 psf

Any profile with more than 10 ft of soil having the characteristics:

- Plasticity index $PI > 20$,
- Moisture content $w \geq 40\%$, and
- Undrained shear strength $\bar{s}_u < 500$ psf

F. Soils requiring site response analysis in accordance with Section 21.1

See Section 20.3.1

$$\text{For SI: } 1\text{ft/s} = 0.3048 \text{ m/s } 1\text{lb/ft}^2 = 0.0479 \text{ kN/m}^2$$

8/

Section 11:4.3 – Site Coefficients and Risk-Targeted Maximum Considered Earthquake (MCE_R) Spectral Response Acceleration Parameters

Table 11.4-1: Site Coefficient F_s

Site Class	Mapped MCE _R Spectral Response Acceleration Parameter at Short Period				
	S _s ≤ 0.25	S _s = 0.50	S _s = 0.75	S _s = 1.00	S _s ≥ 1.25
A	0.8	0.8	0.8	0.8	0.8
B	1.0	1.0	1.0	1.0	1.0
C	1.2	1.2	1.1	1.0	1.0
D	1.6	1.4	1.2	1.1	1.0
E	2.5	1.7	1.2	0.9	0.9
F	See Section 11.4.7 of ASCE 7				

Note: Use straight-line interpolation for intermediate values of S_s

For Site Class = D and S_s = 1.799 g, F_s = 1.000

Table 11.4-2: Site Coefficient F_s

Site Class	Mapped MCE _R Spectral Response Acceleration Parameter at 1-s Period				
	S ₁ ≤ 0.10	S ₁ = 0.20	S ₁ = 0.30	S ₁ = 0.40	S ₁ ≥ 0.50
A	0.8	0.8	0.8	0.8	0.8
B	1.0	1.0	1.0	1.0	1.0
C	1.7	1.6	1.5	1.4	1.3
D	2.4	2.0	1.8	1.6	1.5
E	3.5	3.2	2.8	2.4	2.4
F	See Section 11.4.7 of ASCE 7				

Note: Use straight-line interpolation for intermediate values of S₁

For Site Class = D and S₁ = 0.625 g, F_s = 1.500

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State of California
Department of Housing and
Community Development
Division of Codes and Standards

21

Equation (11.4-1):

$$S_{MS} = F_s S_s = 1.000 \times 1.799 = 1.799 \text{ g}$$

Equation (11.4-2):

$$S_{M1} = F_v S_1 = 1.500 \times 0.625 = 0.938 \text{ g}$$

Section 11.4.4 — Design Spectral Acceleration Parameters

Equation (11.4-3):

$$S_{DS} = \frac{2}{3} S_{MS} = \frac{2}{3} \times 1.799 = 1.199 \text{ g}$$

Equation (11.4-4):

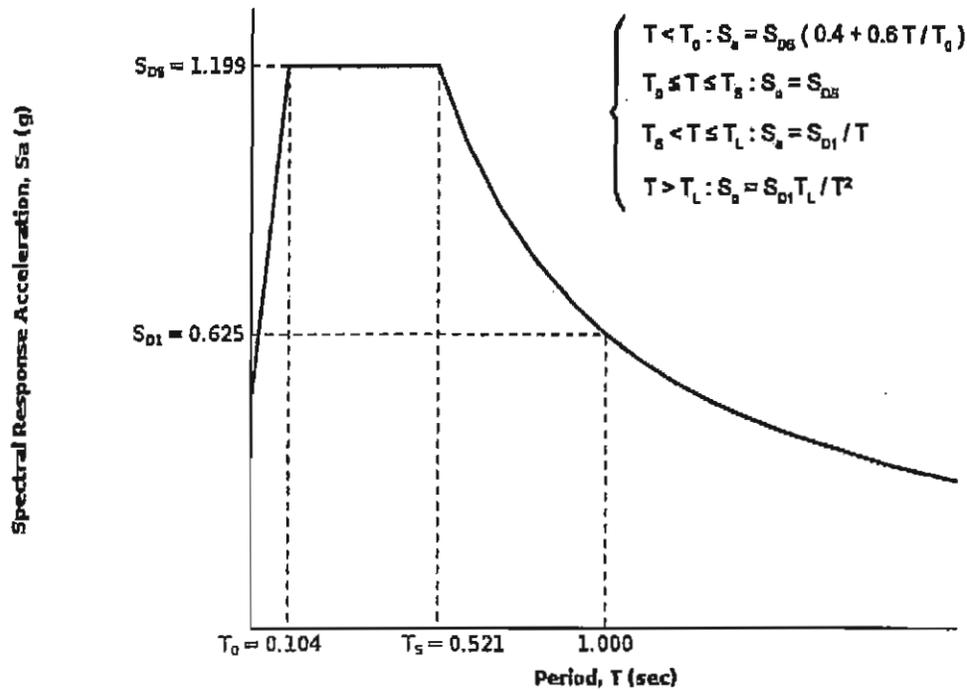
$$S_{D1} = \frac{2}{3} S_{M1} = \frac{2}{3} \times 0.938 = 0.625 \text{ g}$$

Section 11.4.5 — Design Response Spectrum

From Figure 22-12 ⁽³⁾

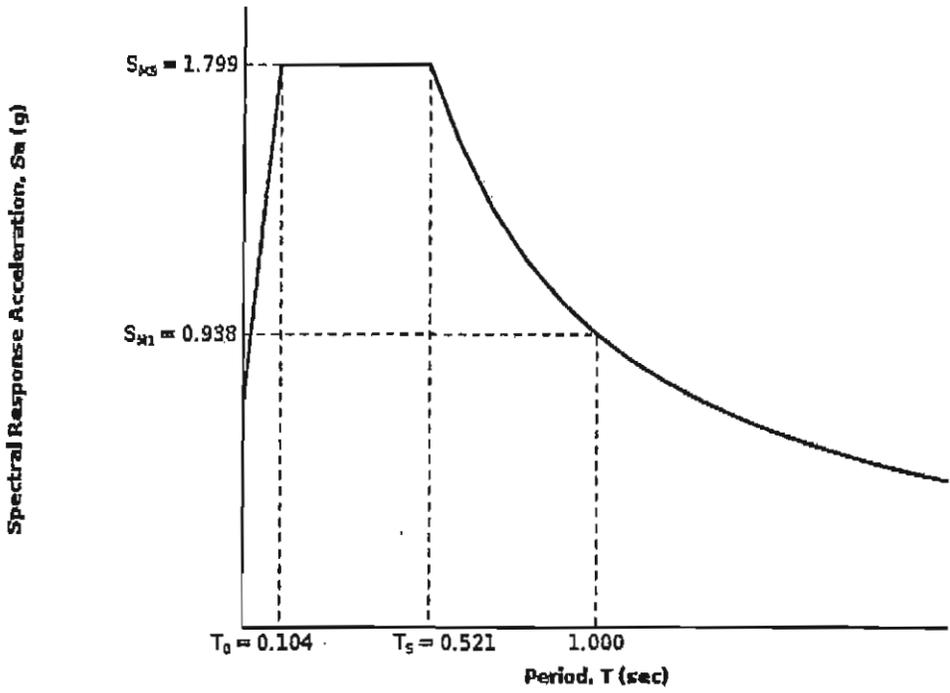
$T_L = 8$ seconds

Figure 11.4-1: Design Response Spectrum



Section 11.4.6 — Risk-Targeted Maximum Considered Earthquake (MCE_R) Response Spectrum

The MCE_R Response Spectrum is determined by multiplying the design response spectrum above by 1.5.



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 State of California
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Section 11.8.3 — Additional Geotechnical Investigation Report Requirements for Seismic Design Categories D through F

From **Figure 22-7**^[4]

PGA = 0.741

Equation (11.8-1):

$$PGA_M = F_{PGA}PGA = 1.000 \times 0.741 = 0.741 \text{ g}$$

Table 11.8-1: Site Coefficient F_{PGA}

Site Class	Mapped MCE Geometric Mean Peak Ground Acceleration, PGA				
	PGA ≤ 0.10	PGA = 0.20	PGA = 0.30	PGA = 0.40	PGA ≥ 0.50
A	0.8	0.8	0.8	0.8	0.8
B	1.0	1.0	1.0	1.0	1.0
C	1.2	1.2	1.1	1.0	1.0
D	1.6	1.4	1.2	1.1	1.0
E	2.5	1.7	1.2	0.9	0.9
F	See Section 11.4.7 of ASCE 7				

Note: Use straight-line interpolation for intermediate values of PGA

For Site Class = D and PGA = 0.741 g, $F_{PGA} = 1.000$

Section 21.2.1.1 — Method 1 (from Chapter 21 - Site-Specific Ground Motion Procedures for Seismic Design)

From **Figure 22-17**^[8]

$C_{RS} = 0.882$

From **Figure 22-18**^[6]

$C_{RI} = 0.899$

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State of California
Department of Housing and
Community Development
Division of Codes and Standards

24

Section 11.6 – Seismic Design Category

Table 11.6-1 Seismic Design Category Based on Short Period Response Acceleration Parameter

VALUE OF S_{DS}	RISK CATEGORY		
	I or II	III	IV
$S_{DS} < 0.167g$	A	A	A
$0.167g \leq S_{DS} < 0.33g$	B	B	C
$0.33g \leq S_{DS} < 0.50g$	C	C	D
$0.50g \leq S_{DS}$	D	D	D

For Risk Category = I and $S_{DS} = 1.199 g$, Seismic Design Category = D

Table 11.6-2 Seismic Design Category Based on 1-S Period Response Acceleration Parameter

VALUE OF S_{D1}	RISK CATEGORY		
	I or II	III	IV
$S_{D1} < 0.067g$	A	A	A
$0.067g \leq S_{D1} < 0.133g$	B	B	C
$0.133g \leq S_{D1} < 0.20g$	C	C	D
$0.20g \leq S_{D1}$	D	D	D

For Risk Category = I and $S_{D1} = 0.625 g$, Seismic Design Category = D

Note: When S_1 is greater than or equal to 0.75g, the Seismic Design Category is E for buildings in Risk Categories I, II, and III, and F for those in Risk Category IV, irrespective of the above.

Seismic Design Category = "the more severe design category in accordance with Table 11.6-1 or 11.6-2" = D

Note: See Section 11.6 for alternative approaches to calculating Seismic Design Category.

References

1. Figure 22-1: http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-1.pdf
2. Figure 22-2: http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-2.pdf
3. Figure 22-12: http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-12.pdf
4. Figure 22-7: http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-7.pdf
5. Figure 22-17: http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-17.pdf
6. Figure 22-18: http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-18.pdf

ASCE Seismic Base Shear

File: N:\MYDOCU-1\WORKOR-1\WO2587-1\PERMAN-1\TENTST-1.EC8
 ENERCALC, INC. 1983-2015, Build: 6.15.7.7, Ver: 6.15.7.7

Licensee: MARK BRAUN & ASSOCIATES

Doc. #: KW-06004289

--None--

Risk Category Calculations per ASCE 7-10

Risk Category of Building or Other Structure: "I": Buildings and other structures that represent a low hazard to human life in the event of failure. ASCE 7-10, Page 2, Table 1.5-1

Seismic Importance Factor = 1 ASCE 7-10, Page 5, Table 1.5-2

USER DEFINED Ground Motion ASCE 7-10 11.4.1

Max. Ground Motions, 5% Damping:

$S_S = 1.779$ g, 0.2 sec response

$S_1 = 0.6250$ g, 1.0 sec response

Site Class, Site Coeff. and Design Category

Site Classification "D": Shear Wave Velocity 600 to 1,200 ft/sec = D ASCE 7-10 Table 20.3-1

Site Coefficients F_a & F_v $F_a = 1.00$ $F_v = 1.50$ ASCE 7-10 Table 11.4-1 & 11.4-2
 (using straight-line interpolation from table values)

Maximum Considered Earthquake Acceleration $S_{MS} = F_a * S_s = 1.779$ ASCE 7-10 Eq. 11.4-1
 $S_{M1} = F_v * S_1 = 0.938$ ASCE 7-10 Eq. 11.4-2

Design Spectral Acceleration $S_{DS} = S_{MS}^{2/3} = 1.186$ ASCE 7-10 Eq. 11.4-3
 $S_{D1} = S_{M1}^{2/3} = 0.625$ ASCE 7-10 Eq. 11.4-4

Seismic Design Category = D ASCE 7-10 Table 11.6-1 & -2

Resisting System ASCE 7-10 Table 12.2-1

Basic Seismic Force Resisting System ... Cantilevered column systems detailed to conform to specific classification
 Timber frames

Response Modification Coefficient "R" = 1.50 Building height Limits:
 System Overstrength Factor "Wo" = 1.50 Category "A & B" Limit: Limit = 35
 Deflection Amplification Factor "Cd" = 1.50 Category "C" Limit: Limit = 35
 Category "D" Limit: Limit = 35
 Category "E" Limit: Not Permitted
 Category "F" Limit: Not Permitted

NOTE! See ASCE 7-10 for all applicable footnotes. ASCE 7-10 Section 12.8.2

Lateral Force Procedure ASCE 7-10 Section 12.8.2

Equivalent Lateral Force Procedure The "Equivalent Lateral Force Procedure" is being used according to the provisions of ASCE 7-10 APPROVED

Determine Building Period Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated. ASCE 7-10 Section 12.8-7

Structure Type for Building Period Calculation: All Other Structural Systems
 "Cl" value = 0.020 "hn": Height from base to highest level = 12.0 ft
 "x" value = 0.75
 "Ta" Approximate fundamental period using Eq. 12.8-7: $T_a = C_t * (h_n)^x = 0.129$ sec
 "TL": Long-period transition period per ASCE 7-10 Maps 22-12 -> 22-18 8.000 sec

OCT 06 2015

Building Period "Ta" Calculated from Approximate Method selected = 0.129 sec

"Cs" Response Coefficient ASCE 7-10 Section 12.8.1.1

S_{DS} Short Period Design Spectral Response = 1.186 From Eq. 12.8-2, Preliminary $C_s = 0.791$
 "R": Response Modification Factor = 1.50 From Eq. 12.8-3 & 12.8-4, C_s need not exceed = 3.231
 "I": Seismic Importance Factor = 1 From Eq. 12.8-5 & 12.8-6, C_s not be less than = 0.208

C_s : Seismic Response Coefficient = 0.7907

Seismic Base Shear ASCE 7-10 Section 12.8.1

$C_s = 0.7907$ from 12.8.1.1 W (see Sum W_i below) = 7.00 k

Seismic Base Shear $V = C_s * W = 5.53$ k

PO Box 2004
 Buellton, CA 93427
 805 688-5429 Phone
 805 688-7239 Fax
 mark@braunassociatesinc.com

Project Title: Canvas Tent Structure
 Engineer:
 Project Descr: New canvas tents for camping

Project ID: WO 2587

Printed: 7 JUL 2016, 1:41PM

ASCE Seismic Base Shear

File = E:\MYDOCU-1\WORKOR-1\WO2587-1\PERMAN-1\TENTST-1.EG8
 ENERCALC, INC., 1983-2016, Build: 6.15.7.7, Ver: 6.15.7.7

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Vertical Distribution of Seismic Forces

ASCE 7-10 Section 12.8.3

* k : hx exponent based on Ta = 1.00

Table of building Weights by Floor Level..

Level #	Wl : Weight	Hl : Height	(Wl * Hl) /k	Cvx	Fx=Cvx * V	Sum Story Shear	Sum Story Moment
1	7.00	8.00	56.00	1.0000	5.53	5.53	0.00
Sum Wl =	7.00 k	Sum Wl * Hl =	56.00 k-ft		Total Base Shear=	5.53 k	Base Moment= 44.3 k-ft

Diaphragm Forces : Seismic Design Category "B" to "F"

ASCE 7-10 12.10.1.1

Level #	Wl	Fl	Sum Fl	Sum Wl	Fpx
1	7.00	5.53	5.53	7.00	3.32

Wpx Weight at level of diaphragm and other structure elements attached to it.
 Fl Design Lateral Force applied at the level.
 Sum Fl Sum of "Lat. Force" of current level plus all levels above
 MIN Req'd Force @ Level $0.20 * S_{DS} * W_{px}$
 MAX Req'd Force @ Level $0.40 * S_{DS} * W_{px}$
 Fpx : Design Force @ Level $W_{px} * \text{SUM}(x \rightarrow n) Fl / \text{SUM}(x \rightarrow n) w_i$, x = Current level, n = Top Level

PROJECT TENT CABINS
 SUBJECT COVERED STRUCTURE

JOB NO. 2587
 BY MA3 DATE 7 July 15
 CHECKED _____ DATE _____
 SHEET NO. _____ OF _____

WIND ANALYSIS

LOAD IN E-W DIRECTION

$q_s = 14.7 \text{ psf}$

$Area = 46' \times \left[\frac{1}{2}(7') + 6' \right]$
 $= 433 \text{ sf}$

$Load = 433 \text{ sf} \times 14.7 \text{ psf}$
 $= 7' 4"$

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 applicable local ordinances. One set of approved plans shall
 be available on the project site at all times. Plans shall be
 replaced when they become obsolete or deteriorated.

WIND GOVERN

DCI 0.5 2015

SEISMIC GOVERN

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 Community Development
 Division of Codes and Standards



MWFRS Wind Loads

ASCE 7-10

Enclosed & Partially Enclosed Buildings of All Heights

Notes: Grinding Building (+/- Z Direction)

Job No: WO 2587

Designer: MDB

Checker:

Date: 7/7/2015

Basic Parameters

Risk Category	II	Table 1.5-1
Basic Wind Speed, V	85 mph	Figure 26.5-1A
Wind Directionality Factor, K_d	0.85	Table 26.6-1
Exposure Category	C	Section 26.7
Topographic Factor, K_{zt}	1.10	Section 26.8
Gust Effect Factor, G or G_f	0.836	Section 26.9
Enclosure Classification	Partially Enclosed	Section 26.10
Internal Pressure Coefficient, GC_{pi}	+/- 0.55	Table 26.11-1
Terrain Exposure Constant, α	9.5	Table 26.9-1
Terrain Exposure Constant, z_e	900 ft	Table 26.9-1

Wall Pressure Coefficients

Windward Wall Width, B	43 ft	
Side Wall Width, L	13 ft	
L/B Ratio	0.30	
Windward Wall Coefficient, C_p	0.80	Figure 27.4-1
Leeward Wall Coefficient, C_p	-0.50	Figure 27.4-1
Side Wall Coefficient, C_p	-0.70	Figure 27.4-1

Roof Pressure Coefficients

Roof Slope, θ	23.0°	
Median Roof Height, h	14 ft	
Velocity Pressure Exposure Coef., K_h	0.85	Table 27.3-1
Velocity Pressure, q_h	14.7 psf	Equation 27.3-1
h/L Ratio	1.08	
Windward Roof Area	0 ft ²	
Roof Area Within 7 ft of WW Edge	0 ft ²	

Location	Min/Max	Horiz Distance From Windward Edge			
		0 ft	7 ft	14 ft	28 ft
Windward Roof Coefficient Normal to Ridge, C_p	Min	-0.58	-0.58	-0.58	-0.58
	Max	-0.07	-0.07	-0.07	-0.07
Leeward Roof Coefficient Normal to Ridge, C_p	Min	-0.60	-0.60	-0.60	-0.60
	Max	-0.60	-0.60	-0.60	-0.60
Roof Coefficient Parallel to Ridge, C_p	Min	-1.30	-1.30	-0.70	-0.70
	Max	-0.18	-0.18	-0.18	-0.18

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OCT 06 2015

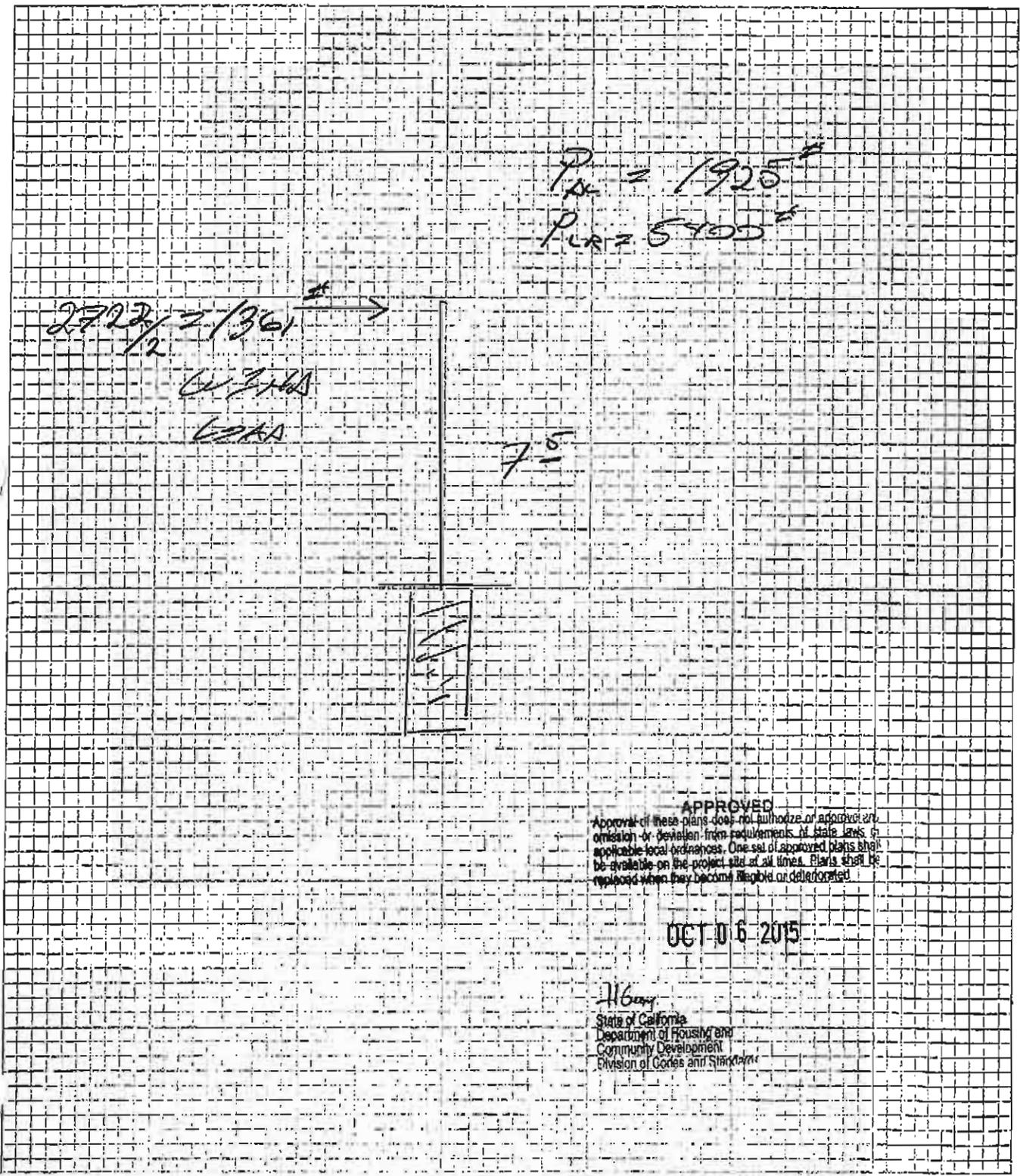
Structure Pressure Summary (Add Internal Pressure $q_i GC_{pi}$ or $q_i GC_{pi}$ as Necessary)

Height, z	K_z	q_z	Walls				Roof		State of California Department of Housing and Community Development Division of Codes and Standards		
			WW	LW	WW + LW	Side	Normal to Ridge		Parallel to Ridge	Internal	
							WW	LW		Positive	Negative
0 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
1 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
3 ft	0.85	14.7 psf	9.8 psf		16.0 psf		Min: -7.1 psf	Min: -7.4 psf	Min: -16.0 psf	8.1 psf	
4 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
6 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
7 ft	0.85	14.7 psf	9.8 psf	-6.1 psf	16.0 psf	-8.6 psf				8.1 psf	-8.1 psf
8 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
10 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
11 ft	0.85	14.7 psf	9.8 psf		16.0 psf		Max: -0.9 psf	Max: -7.4 psf	Max: -2.2 psf	8.1 psf	
13 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	
14 ft	0.85	14.7 psf	9.8 psf		16.0 psf					8.1 psf	

CALCULATION SHEET

PROJECT TENT CADEN
 SUBJECT COVERED TENT

JOB NO. 2587
 BY MMB DATE 7 JULY 15
 CHECKED _____ DATE _____
 SHEET NO. _____ OF _____



PO Box 2004
 Buellton, CA 93427
 805 688-5429 Phone
 805 688-7239 Fax
 mark@braunassociatesinc.com

Project Title: Canvas Tent Structure
 Engineer:
 Project Descr: New canvas tents for camping

Project ID: WO 2587

Printed: 7 JUL 2016, 5:42PM

Wood Column

File = F:\MYDOCU-1\WORKOR-1\WO2587-1\PERMAN-1\TENTST-1.EC6
 ENERCALC, INC. 1983-2015; Build:6.15.7.7; Ver:6.15.7.7

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ic. #: KW-06004289

Description: Wood Column

Load Combination Results

Load Combination	C _D	C _P	Maximum Axial + Bending Stress Ratios			Maximum Shear Ratios		
			Stress Ratio	Status	Location	Stress Ratio	Status	Location
+D+0.750L+0.750S+0.450W+H	1.000	0.240	0.1490	PASS	0.0 ft	0.0	PASS	7.50 ft
+D+0.750L+0.750S+0.5250E+H	1.000	0.240	0.1490	PASS	0.0 ft	0.0	PASS	7.50 ft
+0.60D+0.60W+0.60H	1.000	0.240	0.08942	PASS	0.0 ft	0.0	PASS	7.50 ft
+0.60D+0.70E+0.60H	1.000	0.240	0.08942	PASS	0.0 ft	0.0	PASS	7.50 ft

Maximum Reactions

Note: Only non-zero reactions are listed.

Load Combination	X-X Axis Reaction		Y-Y Axis Reaction		Axial Reaction
	@ Base	@ Top	@ Base	@ Top	@ Base
+D+H		k		k	1.948 k
+D+L+H		k		k	1.948 k
+D+Lr+H		k		k	7.348 k
+D+S+H		k		k	1.948 k
+D+0.750Lr+0.750L+H		k		k	5.998 k
+D+0.750L+0.750S+H		k		k	1.948 k
+D+0.60W+H		k		k	1.948 k
+D+0.70E+H		k		k	1.948 k
+D+0.750Lr+0.750L+0.450W+H		k		k	5.998 k
+D+0.750L+0.750S+0.450W+H		k		k	1.948 k
+D+0.750L+0.750S+0.5250E+H		k		k	1.948 k
+0.60D+0.60W+0.60H		k		k	1.169 k
+0.60D+0.70E+0.60H		k		k	1.189 k
D Only		k		k	1.948 k
Lr Only		k		k	5.400 k
L Only		k		k	k
S Only		k		k	k
W Only		k		k	k
E Only		k		k	k
H Only		k		k	k

Maximum Deflections for Load Combinations

Load Combination	Max. X-X Deflection	Distance	Max. Y-Y Deflection	Distance
+D+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+L+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+Lr+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+S+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.750Lr+0.750L+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.750L+0.750S+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.60W+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.70E+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.750Lr+0.750L+0.450W+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.750L+0.750S+0.450W+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+D+0.750L+0.750S+0.5250E+H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+0.60D+0.60W+0.60H	0.0000 in	0.000 ft	0.000 in	0.000 ft
+0.60D+0.70E+0.60H	0.0000 in	0.000 ft	0.000 in	0.000 ft
D Only	0.0000 in	0.000 ft	0.000 in	0.000 ft
Lr Only	0.0000 in	0.000 ft	0.000 in	0.000 ft
L Only	0.0000 in	0.000 ft	0.000 in	0.000 ft
S Only	0.0000 in	0.000 ft	0.000 in	0.000 ft
W Only	0.0000 in	0.000 ft	0.000 in	0.000 ft
E Only	0.0000 in	0.000 ft	0.000 in	0.000 ft
H Only	0.0000 in	0.000 ft	0.000 in	0.000 ft

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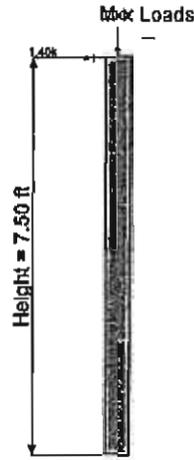
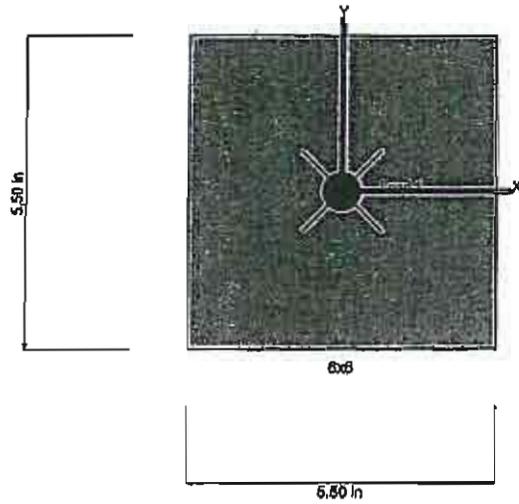
H. Gray
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

Wood Column

Doc. #: KW-06004289

Description: Wood Column

Sketches



Loads are total entered value. Arrows do not reflect absolute direction.

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H. Geary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

PO Box 2004
 Buellton, CA 93427
 805 688-5429 Phone
 805 688-7239 Fax
 mark@braunessociatesinc.com

Project Title: Canvas Tent Structure
 Engineer:
 Project Descr: New canvas tents for camping

Project ID: WO 2587

Printed: 7 JUL 2015, 5:46PM

Pole Footing Embedded in Soil

File = F:\MYDOCU\1\WORKOR\1\WO2587-1\PERMAN-1\TENTST-1.EC8
 ENERCALC, INC. 1983-2015, Build: 6.15.7.7, Ver: 6.15.7.7
 Licensee : MARK BRAUN & ASSOCIATES

Lic. #: KW-06004289
 Description : Wood Column

Code References

Calculations per IBC 2012 1807.3, CBC 2013, ASCE 7-10
 Load Combinations Used : ASCE 7-10

General Information

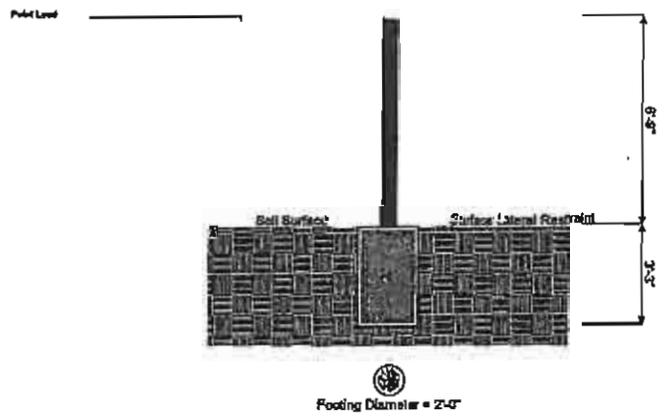
Pole Footing Shape Circular
 Footing Diameter 24.0 in
 Calculate Min. Depth for Allowable Pressures
 Lateral Restraint at Ground Surface
 Allow Passive 350.0 pcf
 Max Passive 5,000.0 pcf

Controlling Values

Governing Load Combination : +D+0.60W+H
 Lateral Load 0.8160 k
 Moment 5.508 k-ft
 Restraint @ Ground Surface
 Pressure at Depth
 Actual 1,108.12 psf
 Allowable 1,137.50 psf
 Surface Restraint Force 4,417.39 lbs

Minimum Required Depth: 3.250 ft

Footing Base Area 3.142 ft²
 Maximum Soil Pressure 2.332 ksf



Applied Loads

Lateral Concentrated Load		Lateral Distributed Load		Applied Moment		Vertical Load	
D : Dead Load	0.0 k		0.0 k/ft	0.0 k-ft		1.925 k	
Lr : Roof Live	0.0 k		0.0 k/ft	0.0 k-ft		5.40 k	
L : Live	0.0 k		0.0 k/ft	0.0 k-ft	Approval of these plans does not authorize any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.		
S : Snow	0.0 k		0.0 k/ft	0.0 k-ft			
W : Wind	1.360 k		0.0 k/ft	0.0 k-ft			
E : Earthquake	0.0 k		0.0 k/ft	0.0 k-ft			
H : Lateral Earth	0.0 k		0.0 k/ft	0.0 k-ft			
Load distance above ground surface	6.750 ft	TOP of Load above ground surface	0.0 ft				
		BOTTOM of Load above ground surface	0.0 ft				

OCT 6 6 2015

Load Combination Results

Load Combination	Forces @ Ground Surface		Required Depth (ft)	Pressure at Depth		Soil Increase Factor
	Loads (k)	Moment (k-ft)		Actual (psf)	Allow (psf)	
+D+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+L+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+Lr+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+S+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+0.750Lr+0.750L+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+0.750L+0.750S+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+0.60W+H	0.816	5.508	3.25	1,108.1	1,137.5	1.000
+D+0.70E+H	0.000	0.000	0.13	0.0	43.8	1.000
+D+0.750Lr+0.750L+0.450W+H	0.612	4.131	3.00	975.4	1,050.0	1.000

H. Geary
 State of California

PO Box 2004
 Buellton, CA 93427
 805 688-5429 Phone
 805 688-7239 Fax
 mark@braunassociatesinc.com

Project Title: Canvas Tent Structure
 Engineer:
 Project Descr: New canvas tents for camping

Project ID: WO 2587

Printed: 7 JUL 2015, 5:48PM

Pole Footing Embedded in Soil

File = F:\MYDOCU~1\WORKOR~1\WO2587~1\PERMAN~1\TENTST~1.EC8
 ENERCALC, INC. 1983-2015, Build: 8.15.7.7, Ver: 8.15.7.7
 Licensee : MARK BRAUN & ASSOCIATES

Lic. #: KW-06004289

Description : Wood Column

+D+0.750L+0.750S+0.450W+H	0.612	4.131	3.00	975.4	1,050.0	1.000
+D+0.750L+0.750S+0.5250E+H	0.000	0.000	0.13	0.0	43.8	1.000
+0.60D+0.60W+0.60H	0.816	5.508	3.25	1,108.1	1,137.5	1.000
+0.60D+0.70E+0.60H	0.000	0.000	0.13	0.0	43.8	1.000

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 805 688-7239 Fax
 mark@braunassociatesinc.com

Project Title: Canvas Tent Structure
 Engineer:
 Project Descr: New canvas tents for camping

Project ID: WO 2587

Printed: 7 JUL 2015, 3:28PM

Wood Beam

File: I:\MYDOCU-1\WORKOR-1\WO2587-1\PERMAN-1\TENTST-1.EC6
 ENERCALC, INC. 1983-2015, Build: 6.15.7.7, Ver: 6.15.7.7
 Licensee: MARK BRAUN & ASSOCIATES

Lic. #: KW-06004289

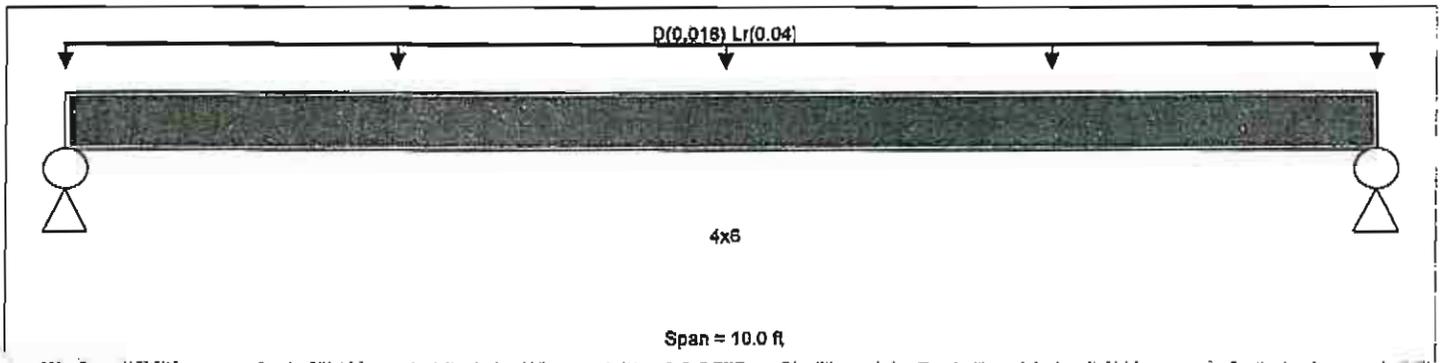
Description: Rafter #1

CODE REFERENCES

Calculations per NDS 2012, IBC 2012, CBC 2013, ASCE 7-10
 Load Combination Set : ASCE 7-10

Material Properties

Analysis Method : Allowable Stress Design	Fb - Tension	1150 psi	E : Modulus of Elasticity	
Load Combination ASCE 7-10	Fb - Compr	1150 psi	Ebend- xx	1800 kai
	Fc - Pril	1800 psi	Eminbend - xx	660ksi
Wood Species : Douglas Fir - Larch (North)	Fc - Perp	625 psi		
Wood Grade : No. 1 & Btr	Fv	180 psi		
	Ft	750 psi	Density	30.58 pcf
Beam Bracing : Beam is Fully Braced against lateral-torsion buckling				



Applied Loads

Service loads entered. Load Factors will be applied for calculations.

Uniform Load : D = 0.0090, Lr = 0.020 ksf, Tributary Width = 2.0 ft, (Roof Loading)

DESIGN SUMMARY

Design OK

Maximum Bending Stress Ratio =	0.264	1	Maximum Shear Stress Ratio =	0.092	1
Section used for this span	4x6		Section used for this span	4x6	
fb : Actual =	493.03	psi	fv : Actual =	20.62	psi
FB : Allowable =	1,868.75	psi	Fv : Allowable =	225.00	psi
Load Combination =	+D+Lr+H		Load Combination =	+D+Lr+H	
Location of maximum on span =	5.000ft		Location of maximum on span =	0.000 ft	
Span # where maximum occurs =	Span # 1		Span # where maximum occurs =	Span # 1	
Maximum Deflection					
Max Downward Transient Deflection	0.104	in	Ratio =	1157	
Max Upward Transient Deflection	0.000	in	Ratio =	0	<360
Max Downward Total Deflection	0.150	in	Ratio =	798	
Max Upward Total Deflection	0.000	in	Ratio =	0	<180

Overall Maximum Deflections

Load Combination	Span	Max. "x" Defl	Location in Span	Load Combination	Max. "x" Defl	Location in Span
+D+Lr+H	1	0.1503	5.036		0.0000	0.000

Maximum Deflections for Load Combinations

Load Combination	Span	Max. Downward Defl	Location in Span	Max. Upward Defl	Location in Span
+D+H	1	0.0466	5.036	0.0000	0.000
+D+L+H	1	0.0466	5.036	0.0000	0.000
+D+Lr+H	1	0.1503	5.036	0.0000	0.000
+D+S+H	1	0.0466	5.036	0.0000	0.000
+D+0.750Lr+0.750L+H	1	0.1244	5.036	0.0000	0.000
+D+0.750L+0.750S+H	1	0.0466	5.036	0.0000	0.000
+D+0.60W+H	1	0.0466	5.036	0.0000	0.000
+D+0.70E+H	1	0.0466	5.036	0.0000	0.000
+D+0.750Lr+0.750L+0.450W+H	1	0.1244	5.036	0.0000	0.000
+D+0.750L+0.750S+0.450W+H	1	0.0466	5.036	0.0000	0.000

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Project ID: WO 2587

Printed: 7 JUL 2016, 3:28PM

Wood Beam

File = I:\MYDOCU-1\WORKOR-1\WO2587-1\PERMAN-1\TENTST-1.EC6
 ENERCALC, INC. 1983-2015, Build: 15.7.7, Ver: 5.15.7.7

Lic. #: KW-06004289

Licensee: MARK BRAUN & ASSOCIATES

Description: Rafter #1

Maximum Deflections for Load Combinations

Load Combination	Span	Max. Downward Defl	Location in Span	Max. Upward Defl	Location in Span
+D+0.750L+0.750S+0.5250E+H	1	0.0466	5.086	0.0000	0.000
+0.60D+0.60W+0.60H	1	0.0280	5.036	0.0000	0.000
+0.60D+0.70E+0.60H	1	0.0280	5.036	0.0000	0.000
D Only	1	0.0466	5.036	0.0000	0.000
Lr Only	1	0.1036	5.036	0.0000	0.000

Vertical Reactions

Support notation: Far left is #1

Values in KIPS

Load Combination	Support 1	Support 2
Overall MAXimum	0.290	0.290
Overall MINimum	0.054	0.054
+D+H	0.090	0.090
+D+L+H	0.090	0.090
+D+Lr+H	0.290	0.290
+D+S+H	0.090	0.090
+D+0.750Lr+0.750L+H	0.240	0.240
+D+0.750L+0.750S+H	0.090	0.090
+D+0.60W+H	0.090	0.090
+D+0.70E+H	0.090	0.090
+D+0.750Lr+0.750L+0.450W+H	0.240	0.240
+D+0.750L+0.750S+0.450W+H	0.090	0.090
+D+0.750L+0.750S+0.5250E+H	0.090	0.090
+0.60D+0.60W+0.60H	0.054	0.054
+0.60D+0.70E+0.60H	0.054	0.054
D Only	0.090	0.090
Lr Only	0.200	0.200
L Only		
S Only		
W Only		
E Only		
H Only		

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Project ID: WO 2587

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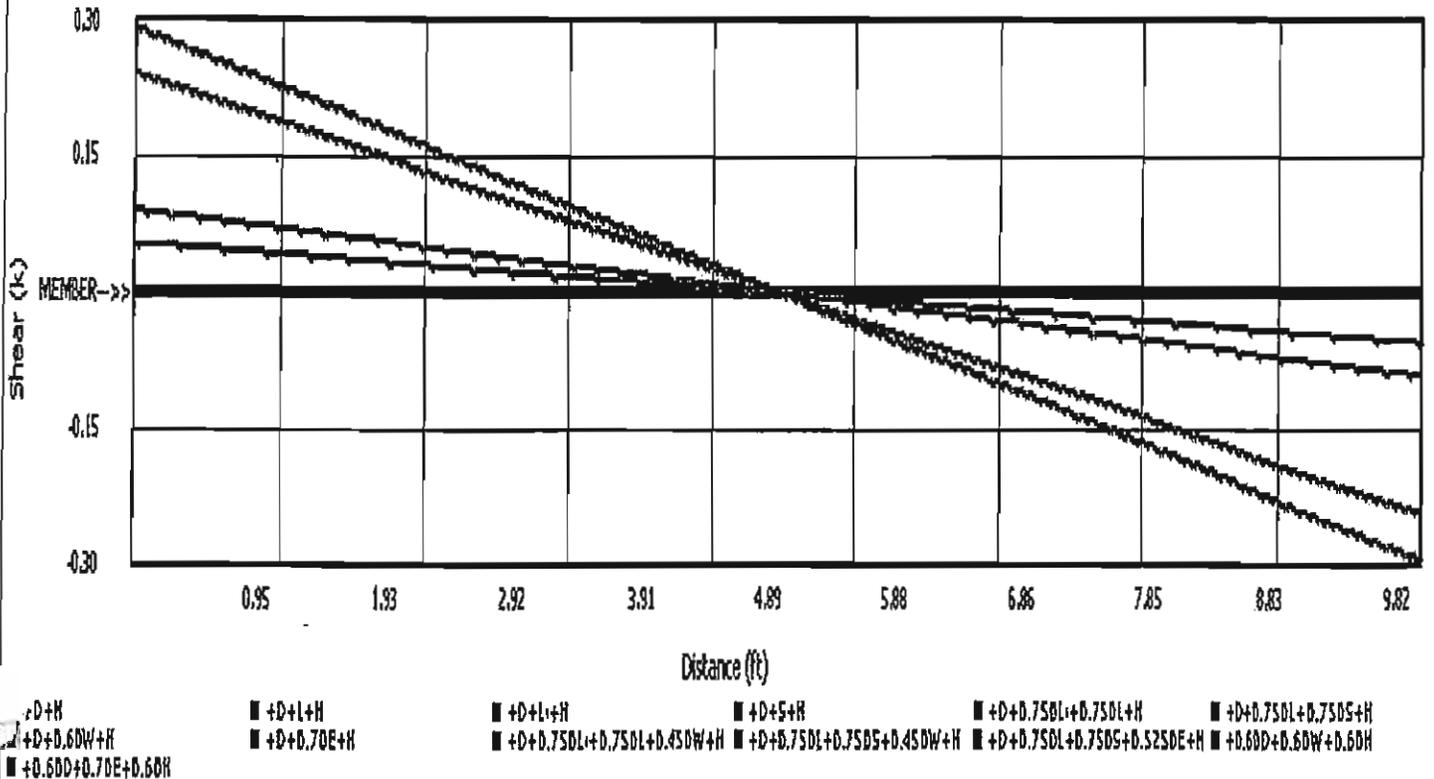
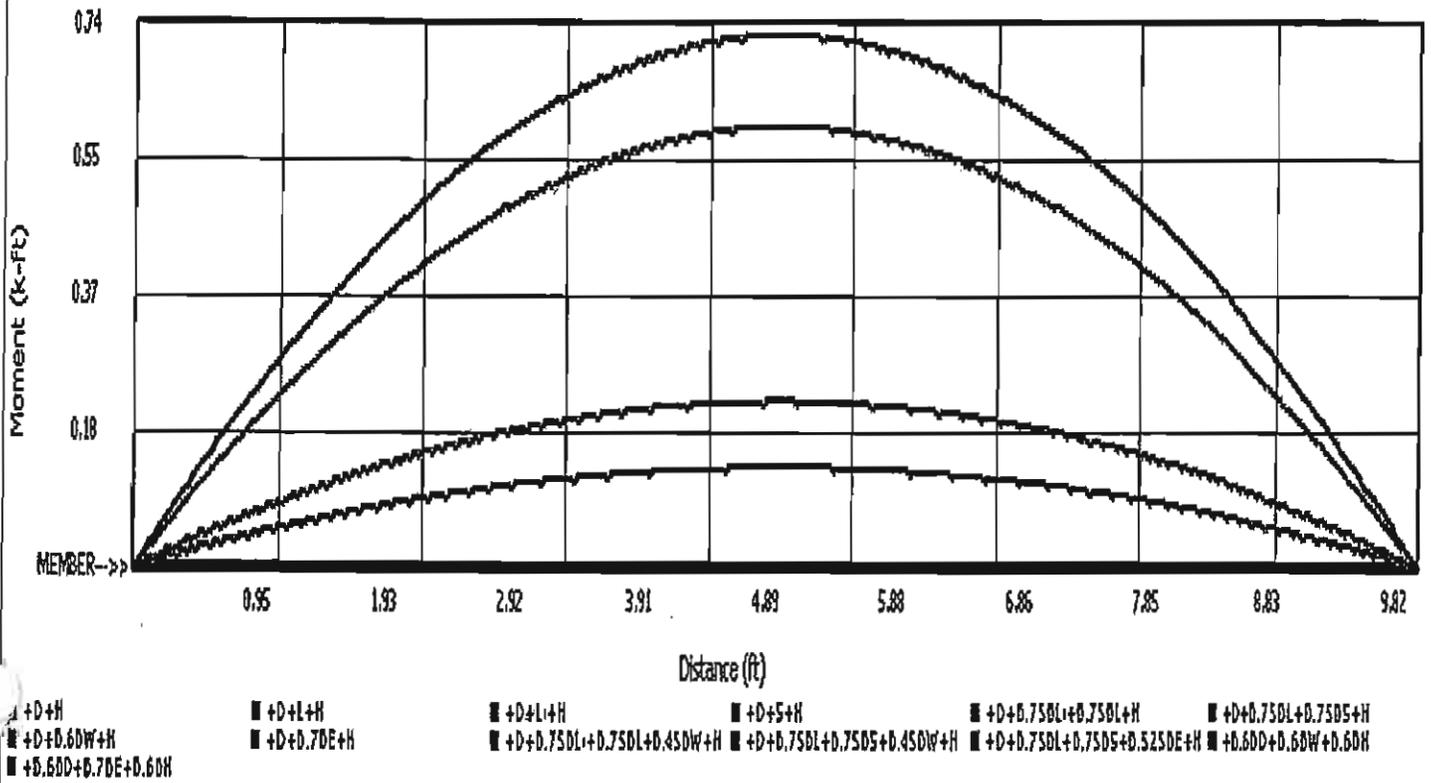
Wood Beam

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 ENERCALC, INC. 1983-2015, Build:6.16.7.7, Ver:6.16.7.7

Lic. #: KW-06004289

Licensee: MARK BRAUN & ASSOCIATES

Description: Rafter #1



Wood Beam

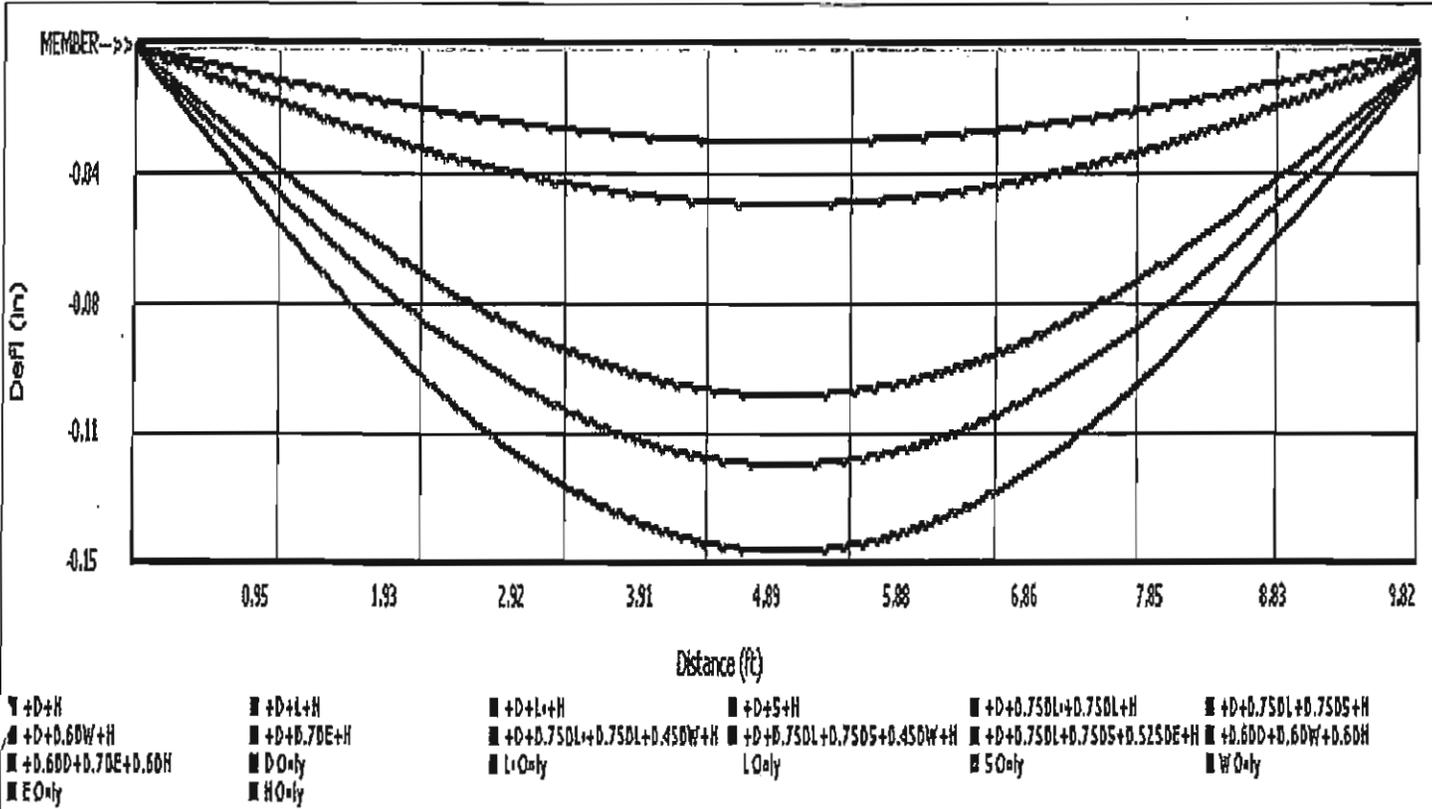
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ENERCALC, INC. 1993-2015, Build: 8.16.7.7, Ver: 8.16.7.7

Lic. #: KW-06004289

Licensor: MARK BRAUN & ASSOCIATES

Description: Rafter #1



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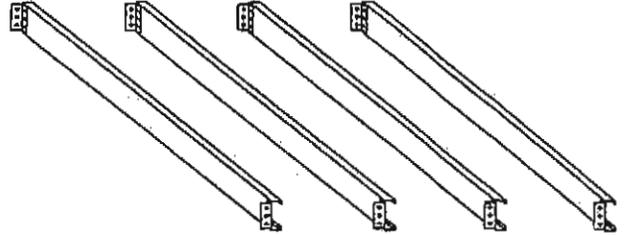
OCT 06 2015

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 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

Joist Design Based on AISI S100-2007 & ICBO ER-4943P

INPUT DATA & DESIGN SUMMARY

SECTION & SPACING 800S250-97 @ 24 in o.c
 (50 ksi)
 JOIST SPAN L = 23 ft
 DEAD LOAD DL = 9 psf
 LIVE LOAD LL = 20 psf
 LATERAL SUPPORTED ? 1 compression flange
 (0=No, 1=compression flange, 2=tension flange)
 DEFLECTION LIMITATION FOR LIVE LOAD ? 1 L /240
 (0=No., 1= L /240, 2= L /360, 3= L /180, 4= L /120)



THE DESIGN IS ADEQUATE.

ANALYSIS

SECTION PROPERTIES OF EACH METAL STUD (SSMA page 7 & 8)

$I = 0.1017 \text{ in}^4$	$F_y = 50 \text{ ksi}$	$I_{xx} = 12.789 \text{ in}^4$	$M_n/\Omega_b = 102.7 \text{ in-kips}$
$h = 8 \text{ in}$	$W_t = 4.67 \text{ lb/ft}$	$S_{xx} = 3.053 \text{ in}^3$	$V_n/\Omega_v = 11124 \text{ lbs}$
$A = 1.372 \text{ in}^2$	$r_x = 3.053 \text{ in}$	$r_y = 0.857 \text{ in}$	$x_o = -1.652 \text{ in}$
$J = 0.004731 \text{ in}^6$	$C_w = 12.838 \text{ in}^6$		

CHECK MAX WEB DEPTH-TO-THICKNESS RATIO (AISI B1.2)

$h/t = 78.66 < 200$ [Satisfactory]

CHECK FLEXURAL CAPACITY (AISI C3.1)

$M_n/\Omega_b = 102.70 \text{ in-kips} > M$ [Satisfactory]
 Where $M = [(DL+LL) S + W_t] L^2 / 8 = 49.73 \text{ in-kips}$
 $S = 24 \text{ in o.c., spacing as given.}$

CHECK SHEAR CAPACITY (AISI C3.2)

$V_n/\Omega_v = 11124 \text{ lbs} > V$ [Satisfactory]
 Where $V = [(DL+LL) S + W_t] L / 2 = 721 \text{ lbs}$

CHECK LATERAL-TORSIONAL BUCKLING (AISI C3.1.2)

CASE 1: BOTH TOP & BOTTOM FLANGES UNSUPPORTED

← Does not apply.

$$F_e = \frac{C_b r_o A}{S_f} \sqrt{\sigma_{ey} \sigma_t} = 6.2 \text{ ksi} < 2.78 F_y = 139.0 \text{ ksi}$$

$$< 0.56 F_y = 28.0 \text{ ksi}$$

Where $C_b = 1.0$
 $r_o = (r_x^2 + r_y^2 + x_o^2)^{0.5} = 3.576 \text{ in}$
 $S_f = 3.20 \text{ in}^3$
 $E = 29500 \text{ ksi (AISI pg xiv)}$
 $G = 11300 \text{ ksi (AISI pg xvi)}$
 $K_y = 1.0$
 $K_t = 1.0$
 $L_y = 276 \text{ in}$
 $L_t = 276 \text{ in}$

$$\sigma_{ey} = \frac{\pi^2 E}{(K_y L_y / r_y)^2} = 2.807 \text{ ksi}$$

$$\sigma_t = \frac{1}{A r_o^2} \left[GJ + \frac{\pi^2 E C_w}{(K_t L_t)^2} \right] = 5.845 \text{ ksi}$$

$$F_c = \begin{cases} F_y, & \text{for } F_e \geq 2.78 F_e \\ \frac{10}{9} F_y \left(1 - \frac{10 F_y}{36 F_e} \right), & \text{for } 2.78 F_e \geq F_e \geq 0.56 F_e \\ F_e, & \text{for } F_e \leq 0.56 F_e \end{cases} = 6.2 \text{ ksi}$$

$$M_n/\Omega_b = 11.90 \text{ in-kips} < M \text{ [Satisfactory]}$$

$$\text{Where } S_c = 3.20 \text{ in}^3 \text{ from SSMA page 7 \& 8}$$

$$\Omega_b = 1.67$$

$$M_n = S_c F_c = 10.87 \text{ in-kips}$$

$$M = [(DL+LL) S/12 + WL] L^2 / 8 = 49.73 \text{ in-kips}$$

CASE 2: BOTTOM FLANGE SUPPORTED ONLY

<== Does not apply.

$$M_n/\Omega_b = 80.56 \text{ in-kips} > M \text{ [Satisfactory]}$$

$$\text{Where } S_e = 3.05 \text{ in}^3, \text{ from } S_{xx}$$

$$\Omega_b = 1.67$$

$$R = 0.65 \text{ (AISI Table D6.1.1-1)}$$

$$M_n = R S_e F_y = 101.13 \text{ in-kips}$$

CHECK CAPACITY COMBINED BENDING & SHEAR AT ANY SAME SECTION (AISI C3.3.1)

$$\sqrt{\left(\frac{\Omega_b M}{M_n}\right)^2 + \left(\frac{\Omega_v V}{V_n}\right)^2} = 0.4885 < 1.0 \text{ [Satisfactory]}$$

$$\text{Where } M = 49.73 \text{ in-kips}$$

$$V = 721 \text{ lbs}$$

$$V_n/\Omega_v = 11124 \text{ lbs}$$

$$\Omega_b = 1.67$$

$$M_n = \text{MIN}(\text{Bending, Buckling}) = 171.51 \text{ in-kips}$$

$$M_n/\Omega_b = 102.7 \text{ in-kips, from SSMA page 7 \& 8 for bending only.}$$

$$\left(\frac{\Omega_b M}{M_n}\right) = 0.48 < 0.5 \quad \left(\frac{\Omega_v V}{V_n}\right) = 0.06 < 0.7$$

$$0.6\left(\frac{\Omega_b M}{M_n}\right) + \left(\frac{\Omega_v V}{V_n}\right) = 0.3653 < 1.3 \text{ [Satisfactory]}$$

CHECK DEFLECTION

$$\Delta_{LL} = \frac{5(LL S)L^4}{384EI_{xx}} = 0.87 \text{ in} < L/240 = 1.15 \text{ in} \text{ [Satisfactory]}$$

DETERMINE SCREWS AT EACH LEG OF CONNECTION (SSMA page 48)

$$V_{\max} = 721 \text{ lbs}$$

$$V_{\text{allow}} = \begin{array}{lll} 0 & \text{lbs / screw, for \# 8 screws.} & ==> \text{ \#8 screws inadequate.} \\ 523 & \text{lbs / screw, for \# 10 screws.} & ==> \text{ (2)- \# 10 screws required.} \\ 557 & \text{lbs / screw, for \# 12 screws.} & ==> \text{ (2)- \# 12 screws required.} \end{array}$$

Technical References:

1. AISI STANDARD, S100-2007 Edition. American Iron and Steel Institute.
2. SSMA, Product Technical Information, ICBO ER-4943P, Steel Stud Manufacturers Association, 2001.



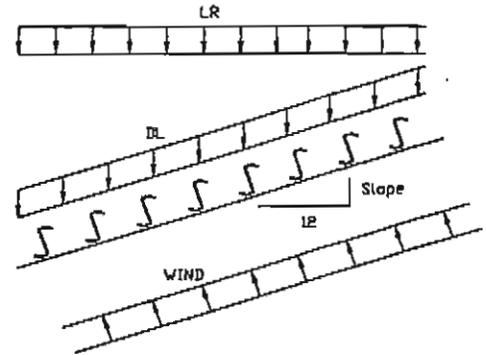
PROJECT : Flying Flags Covered Tent Cabin
 CLIENT : Flying Flags Trailer Park
 JOB NO. : 2587 DATE : 7/14/2015

PAGE :
 DESIGN BY : MDB
 REVIEW BY :

Metal Z-Purlins Design Based on AISI S100-2007

INPUT DATA & DESIGN SUMMARY

SECTION & SPACING 8ZS2.75x70 @ 24 in o.c.
 ROOF SLOPE 5 : 12 (22.62 °)
 MAXIMUM PURLIN SPAN L = 23 ft
 YIELD STRESS (33 or 55) F_y = 55 ksi
 SLOPED DEAD LOAD DL = 9 psf
 PROJECTED ROOF LIVE LOAD LR = 20 psf
 NET UPWARD WIND PRESSURE WIND = 16 psf



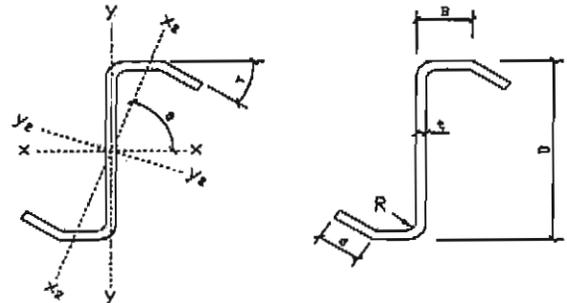
LATERAL SUPPORTED BY DIAPHRAGM? 1 top flange
 (0=No, 1=top flange, 2=bottom flange)
 DEFLECTION LIMITATION FOR LIVE LOAD ? 1 L / 240
 (0=No., 1= L / 240, 2= L / 360, 3= L / 180, 4= L / 120)

THE DESIGN IS ADEQUATE.

ANALYSIS

SECTION PROPERTIES OF EACH Z PURLIN (AISI Manual, 2002, Table I-4 & Table II-4)

t = 0.07 in	r _y = 1.4 in
D = 8 in	Wt = 3.5728 lb/ft
A = 1.05 in ²	r _x = 3.14 in
J = 0.00171 in ⁴	C _w = 23 in ⁶
I _o = 10.3 in ⁴	M _n = 123 in-kips
S _o = 2.24 in ³	V _n = 6.52 lbs
B = 2.75 in	d = 0.93 in
R = 0.1675 in	S _x = 2.57 in ³



CHECK MAX WEB DEPTH-TO-THICKNESS RATIO (AISI B1.2)

D / t = 114.29 < 200 [Satisfactory]

DETERMINE ASD LEVEL LOADS

$W_{DL+LR} = [(DL \cos\theta + LR \cos^2\theta) S + Wt \cos\theta] = 53.996$ lb/ft, down inward to roof
 $M_{mid} = W_{DL+LR} L^2 / 8 = 42.846$ in-kips, conservative value at middle of span
 $M_{support} = -W_{DL+LR} L^2 / 12 = -28.56$ in-kips, conservative value at supports
 $V_{DL+LR} = 2 W_{DL+LR} L / 3 = 0.8279$ kips, conservative value at supports

$W_{0.9DL+WIND} = [(0.9 DL \cos\theta - WIND) S + Wt \cos\theta] = -13.7481$ lb/ft, uplift inward to roof
 $M_{mid} = W_{0.9DL+WIND} L^2 / 8 = -10.91$ in-kips, conservative value at middle of span
 $M_{support} = -W_{0.9DL+WIND} L^2 / 12 = 7.2727$ in-kips, conservative value at supports
 $V_{0.9DL+WIND} = 2W_{0.9DL+WIND} L / 3 = -0.211$ kips, conservative value at supports

CHECK FLEXURAL CAPACITY (AISI C3.1)

$M_n / \Omega_b = 73.65$ in-kips > M [Satisfactory]
 Where $M = \text{Max}(M_{mid}, M_{support}) = 42.85$ in-kips
 $\Omega_b = 1.67$

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CHECK SHEAR CAPACITY (AISI C3.2)

$V_n / \Omega_v = 4.08$ lbs > V [Satisfactory]
 Where $V = \text{Max}(V_{DL+LR}, V_{0.9DL+WIND}) = 0.8279$ lbs
 $\Omega_v = 1.60$

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CHECK LATERAL-TORSIONAL BUCKLING (AISI C3.1.2)

CASE 1: BOTH TOP & BOTTOM FLANGES UNSUPPORTED <== Does not apply.

$F_e = \frac{Cb\pi^2 A}{S_f} \sqrt{|\sigma_{ey}\sigma_l|} = 11.3$ ksi < 2.78 F_y = 152.9 ksi
 < 0.56 F_y = 30.8 ksi

Where $C_b = 1.0$
 $r_o = (r_x^2 + r_y^2 + x_o^2)^{0.5} = 3.438 \text{ in}$
 $S_r = 2.57 \text{ in}^3 \text{ (} S_x \text{)}$
 $E = 29500 \text{ ksi (AISI pg xiv)}$
 $G = 11300 \text{ ksi (AISI pg xvi)}$
 $K_y = 1.0$
 $K_t = 1.0$
 $L_y = 276 \text{ in}$
 $L_t = 276 \text{ in}$

$x_o = 0 \text{ in}$

$$\sigma_{ey} = \frac{\pi^2 E}{(K_y L_y / r_y)^2} = 7.491 \text{ ksi}$$

$$\sigma_t = \frac{1}{A r_o^2} \left[GJ + \frac{\pi^2 E C_w}{(K_t L_t)^2} \right] = 8.640 \text{ ksi}$$

$$F_c = \begin{cases} F_y, & \text{for } F_e \geq 2.78 F_e \\ \frac{10}{9} F_y \left(1 - \frac{10 F_y}{36 F_e} \right), & \text{for } 2.78 F_e \geq 0.56 F_e \\ F_e, & \text{for } F_e \leq 0.56 F_e \end{cases} = 11.3 \text{ ksi}$$

$M_n / \Omega_b = 17.39 \text{ in-kips} < M \text{ [Satisfactory]}$

Where $S_o = 2.57 \text{ in}^3$
 $\Omega_b = 1.87$
 $M_n = S_o F_o = 29.04 \text{ in-kips}$
 $M = 42.85 \text{ in-kips}$

CASE 2: TOP OR BOTTOM FLANGE SUPPORTED ONLY

$M_n / \Omega_b = 48.87 \text{ in-kips} > M \text{ [Satisfactory]}$

Where $S_o = 2.24 \text{ in}^3$
 $\Omega_b = 1.87$
 $R = 0.683 \text{ (AISI Table D8.1.1-1)}$
 $M_n = R S_o F_y = 81.62 \text{ in-kips}$
 $M = 28.56 \text{ in-kips}$

CHECK CAPACITY COMBINED BENDING & SHEAR AT ANY SAME SECTION (AISI C3.3.1)

$$\sqrt{\left(\frac{\Omega_b M}{M_n} \right)^2 + \left(\frac{\Omega_v V}{V_n} \right)^2} = 0.8999 < 1.0 \text{ [Satisfactory]}$$

Where $M = 42.85 \text{ in-kips}$
 $V = 0.83 \text{ lbs}$
 $V_n / \Omega_v = 4.075 \text{ lbs}$
 $M_n = \text{MIN(Bending , Buckling)} = 81.62 \text{ in-kips}$

$$\left(\frac{\Omega_b M}{M_n} \right) = 0.88 > 0.5 \quad \left(\frac{\Omega_v V}{V_n} \right) = 0.20 < 0.7$$

$$0.6 \left(\frac{\Omega_b M}{M_n} \right) + \left(\frac{\Omega_v V}{V_n} \right) = 0.7292 < 1.3 \text{ [Satisfactory]}$$

CHECK LIVE LOAD DEFLECTION

$$\Delta_{LR} = \frac{5(w_{LR})L^4}{384EI_e} = 0.71 \text{ in} < L/240 = 1.15$$

Where $w_{LR} = LR \text{ Cos}^2 \theta = 34.083 \text{ lb/ft, down inward to roof}$

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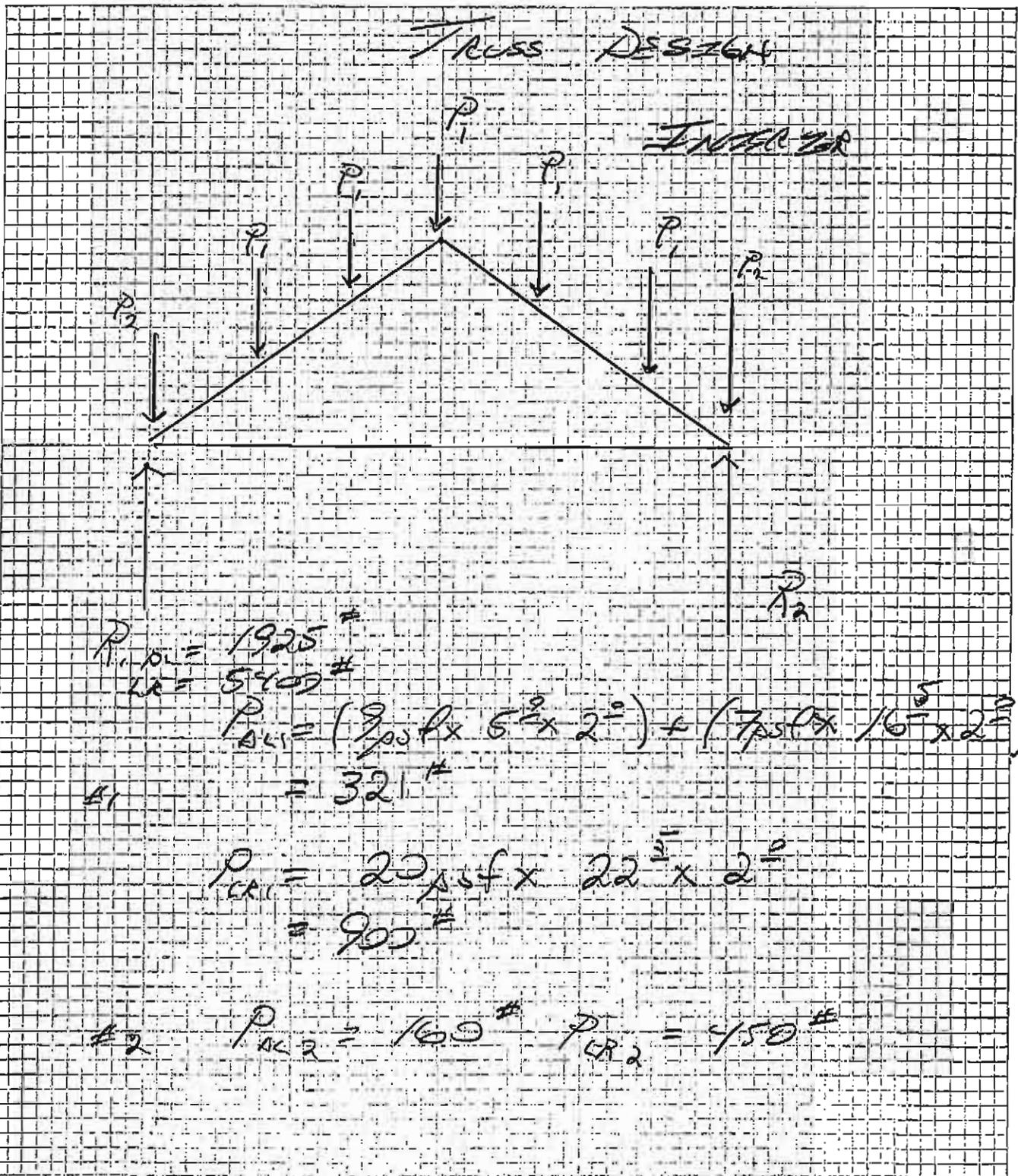
Technical References:

1. AISI STANDARD, S100-2007 Edition. American Iron and Steel Institute.
2. AISI MANUAL, 2001 Edition. American Iron and Steel Institute.

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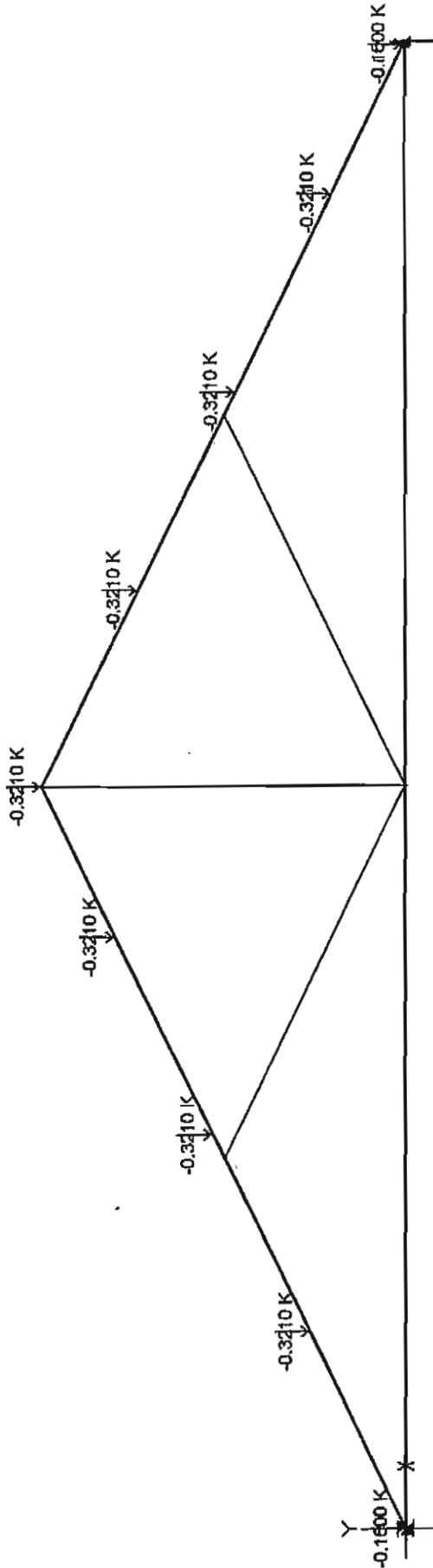
PROJECT TENT CABIN
SUBJECT COVERED TENT

JOB NO. 2587
BY MAB DATE 7 Jun 15
CHECKED _____ DATE _____
SHEET NO. _____ OF _____



Site Truss
 BRAUN & ASSOCIATES, INC., Mark D. Braun
 WO 2587
 Jul 07, 2015, 04:36 PM
 Load Case: D
 IES Visual/Analysis 12.00.0009

INTERIOR TRUSS

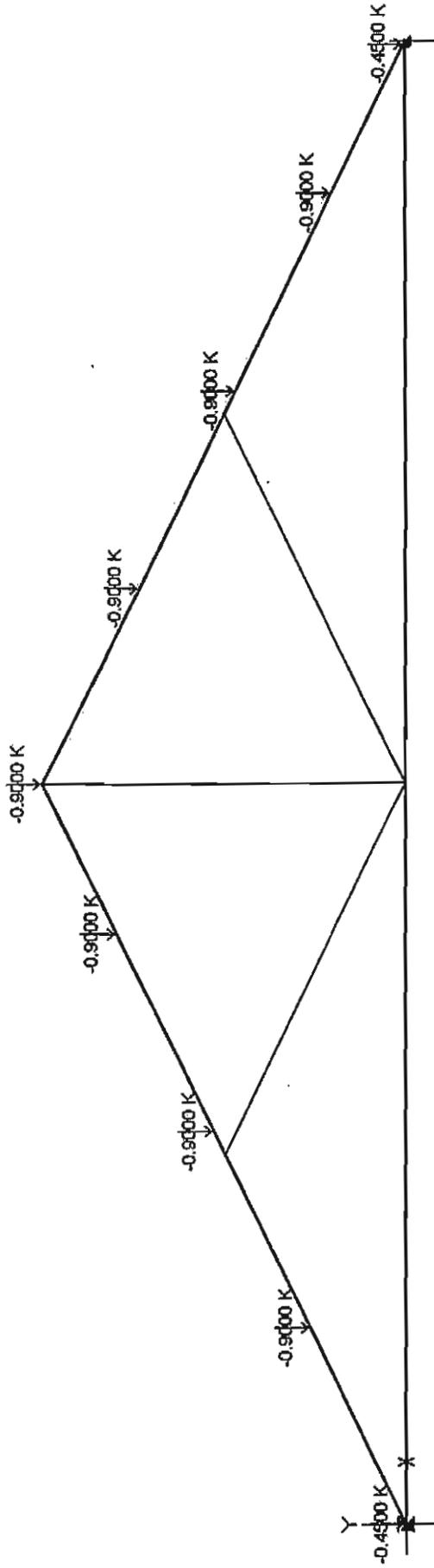


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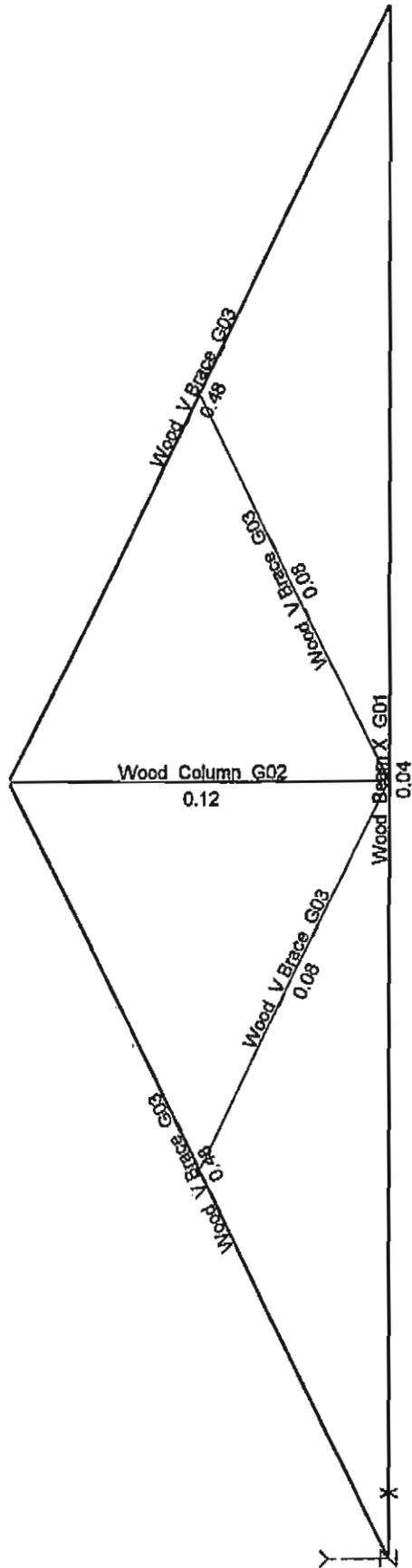
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WO 2587
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Load Case: Lr
IES VisualAnalysis 12.00.0009



Site Truss
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 WO 2587
 Jul 07, 2015; 04:37 PM
 Design View, Unity Checks
 IES VisualAnalysis 12.00.0009



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Project 3 Truss

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July 07, 2015

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Site Truss

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Company: BRAUN & ASSOCIATES, INC. Engineer: Mark D. Braun Billing: WO 2587
VisualAnalysis 12.00.0009 Report

Table of Contents

- Project Header
- Table of Contents
- Design Criteria
- Section Properties
- Material Properties
- Member Point Loads
- Nodal Loads
- Member Uniform Loads
- Member Min/Max Forces
- Member Min/Max Stresses
- Nodal Supports
- Nodal Extreme Reactions
- Nodal Extreme Displacements
- Equation Load Combinations
- Member Unity Checks

Design Criteria

Building Code Load Combinations:
ASCE 7-10 LRFD
Vertical Direction: Y, Ground Elevation = 0.00 ft
Occupancy Category: II
Seismic Data (For load combination generation):
Spectral Acceleration (SDS) = 1.189
Seismic Design Category: E
Overstrength Omega0: X=2.5, Z=2.5
Seismic Redundancy Rho: X=1, Z=1

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Section Properties

Section	Ax in ²	J in ⁴	Iy in ⁴	Iz in ⁴	Sz(+y) in ³	Sz(-y) in ³	Sy(+z) in ³	Sy(-z) in ³	Dim. 1 in	Dim. 2 in
SS4x6	19.250	47.518	19.651	48.526	17.646	17.646	11.229	11.229	NA	NA
SS4x8	25.375	72.243	25.904	111.148	30.661	30.661	14.802	14.802	NA	NA

Material Properties

Material	Strength Ksi	Poisson
Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	-NA-	0.362000

Member Point Loads

Load Case	Member	Direction	Offset ft	Force K	Moment K-ft
D	V007	Force Y	0.000	-0.160	-NA-
D	V007	Force Y	2.000	-0.321	-NA-
D	V007	Force Y	4.000	-0.321	-NA-
D	V007	Force Y	6.000	-0.321	-NA-
D	V008	Force Y	0.000	-0.321	-NA-
D	V008	Force Y	2.000	-0.321	-NA-
D	V008	Force Y	4.000	-0.321	-NA-
D	V008	Force Y	6.000	-0.321	-NA-
D	V008	Force Y	7.500	-0.160	-NA-
Lr	V007	Force Y	0.000	-0.450	-NA-
Lr	V007	Force Y	2.000	-0.900	-NA-
Lr	V007	Force Y	4.000	-0.900	-NA-
Lr	V007	Force Y	6.000	-0.900	-NA-
Lr	V008	Force Y	0.000	-0.900	-NA-
Lr	V008	Force Y	2.000	-0.900	-NA-
Lr	V008	Force Y	4.000	-0.900	-NA-
Lr	V008	Force Y	6.000	-0.900	-NA-
Lr	V008	Force Y	7.500	-0.450	-NA-

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Member Min/Max Forces

Extreme Item	Member	Result Case Name	Offset ft	Fx K	Vy K	Vz K	Mx K-ft	My K-ft	Mz K-ft
Max My	BmX003	D	0.000	-0.001	0.015	-0.000	0.000	-0.000	0.000
Max Mz	V008	1.2D+1.6Lr+L	5.991	-12.362	0.751	-0.000	0.000	-0.000	1.374
Max Torsion	BmX003	D	0.000	-0.001	0.015	-0.000	0.000	-0.000	0.000
Max Vy	V008	1.2D+1.6Lr+L	3.782	-11.548	2.401	-0.000	0.000	-0.000	-0.657
Max Vz	COL001	1.2D+1.6Lr+L	3.330	3.899	-0.000	-0.000	0.000	-0.000	-0.000
Max fa	COL001	1.2D+1.6Lr+L	3.330	3.899	-0.000	-0.000	0.000	-0.000	-0.000
Min My	BmX003	D	0.000	-0.001	0.015	-0.000	0.000	-0.000	0.000
Min Mz	V008	1.2D+1.6Lr+L	3.763	-8.878	-1.067	-0.000	0.000	-0.000	-0.702
Min Torsion	BmX003	D	0.000	-0.001	0.015	-0.000	0.000	-0.000	0.000
Min Vy	V008	1.2D+1.6Lr+L	7.527	-13.578	-1.712	-0.000	0.000	-0.000	-0.000
Min Vz	V008	1.2D+1.6Lr+L	7.527	-13.578	-1.712	-0.000	0.000	-0.000	-0.000
Min fa	V008	1.2D+1.6Lr+L	7.527	-13.578	-1.712	-0.000	0.000	-0.000	-0.000

Member Min/Max Stresses

Extreme Item	Member	Result Case Name	Offset ft	fa Ksi	fbx(+z) Ksi	fbx(-z) Ksi	fbz(+y) Ksi	fbz(-y) Ksi
Max fby(+z)	BmX003	D	0.000	-0.000	0.000	-0.000	-0.000	0.000
Max fby(-z)	BmX003	D	0.000	-0.000	0.000	-0.000	-0.000	0.000
Max fbx(+y)	V008	1.2D+1.6Lr+L	3.783	-0.350	0.000	-0.000	0.275	-0.275
Max fbx(-y)	V008	1.2D+1.6Lr+L	5.991	-0.487	0.000	-0.000	-0.538	0.538
Max fx	COL001	1.2D+1.6Lr+L	3.330	0.203	0.000	-0.000	0.000	-0.000
Min fby(+z)	BmX003	D	0.000	-0.000	0.000	-0.000	-0.000	0.000
Min fby(-z)	BmX003	D	0.000	-0.000	0.000	-0.000	-0.000	0.000
Min fbx(+y)	V008	1.2D+1.6Lr+L	5.991	-0.487	0.000	-0.000	-0.538	0.538
Min fbx(-y)	V008	1.2D+1.6Lr+L	3.763	-0.350	0.000	-0.000	0.275	-0.275
Min fx	V008	1.2D+1.6Lr+L	7.527	-0.535	0.000	-0.000	0.000	-0.000

Nodal Support

Node	Fix DX	Fix DY	Fix DZ	Fix RX	Fix RY	Fix RZ
N001	Yes	Yes	Yes	No	Yes	No
N003	Yes	Yes	Yes	Yes	No	No

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Project = Truss

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Nodal Extreme Reactions

Node	FX K	FY K	FZ K	MX K-ft	MY K-ft	MZ K-ft
N001	1.909 (34)	1.211 (34)	0.000 (1)	-NA-	0.000 (1)	-NA-
N001	11.414 (37)	7.240 (37)	0.000 (1)	-NA-	0.000 (1)	-NA-
N003	-11.414 (37)	1.265 (34)	0.000 (1)	0.000 (1)	-NA-	-NA-
N003	-1.909 (34)	7.581 (37)	0.000 (1)	0.000 (1)	-NA-	-NA-

(lc) = Load Case index, shown in 'Load Cases' or 'Result Cases' table.

Nodal Extreme Displacements

Node	DX in	DY in	DZ in
N001	-NA-	-NA-	-NA-
N001	-NA-	-NA-	-NA-
N002	-0.000 (37)	-0.052 (37)	0.000 (1)
N002	-0.000 (34)	-0.009 (34)	0.000 (1)
N003	-NA-	-NA-	-NA-
N003	-NA-	-NA-	-NA-
N004	0.001 (34)	-0.046 (37)	0.000 (1)
N004	0.009 (37)	-0.008 (34)	0.000 (1)
N005	0.000 (34)	-0.047 (37)	0.000 (1)
N005	0.000 (37)	-0.008 (34)	0.000 (1)
N006	-0.009 (37)	-0.046 (37)	0.000 (1)
N006	-0.002 (34)	-0.008 (34)	0.000 (1)

Equation Load Combinations

Load Case	Cases	Equation
.9D+DI	1	0.90D
1.2D+.5L+Lpa+.5S+DI	1	1.20D
1.2D+1.8L+.5Lr	2	1.20D + 0.50Lr
1.2D+1.6L+L	2	1.20D + 1.60Lr
1.4D+.9H	1	1.40D

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Member Unity Checks

Member	Unity Check	Model Shape	Design Shape	Material	Reference
BmX003	0.04 Strong Flexure Check	SS4x6	SS4x6	Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	3.3-1
COL001	0.12 Axial Check	SS4x6	SS4x6	Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	3.8.1
V005	0.08 Axial Check	SS4x6	-NA-	Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	3.6.3
V006	0.08 Axial Check	SS4x6	-NA-	Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	3.6.3
V007	0.48 Axial Check	SS4x8	-NA-	Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	3.6.3
V008	0.48 Axial Check	SS4x8	-NA-	Douglas Fir-Larch (North) NDS Lumber (Visual) No.1 & Btr	3.6.3

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CALCULATION SHEET

PROJECT TENT CABIN
SUBJECT COVERED TENT

JOB NO. 2587
BY MOB DATE 7 JULY '15
CHECKED _____ DATE _____
SHEET NO. _____ OF _____

INTERIOR TRUSS



$$P_T = [P_{AC}(1.2) + P_{DL}(1.6)] / 12$$

$$= [1925(1.2) + 5400(1.6)]$$

$$P_T = 5475 \#$$

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SHEAR @ CONNECTION = 136E

USE 4 - 3/4" Ø BOLTS

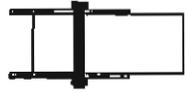
at DOUBLE SHEAR PLATE

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BOLTS

Table 11G BOLTS: Reference Lateral Design Values (Z) for Double Shear (three member) Connections^{1,2}

for sawn lumber or SCL with 1/4" ASTM A 36 steel side plate

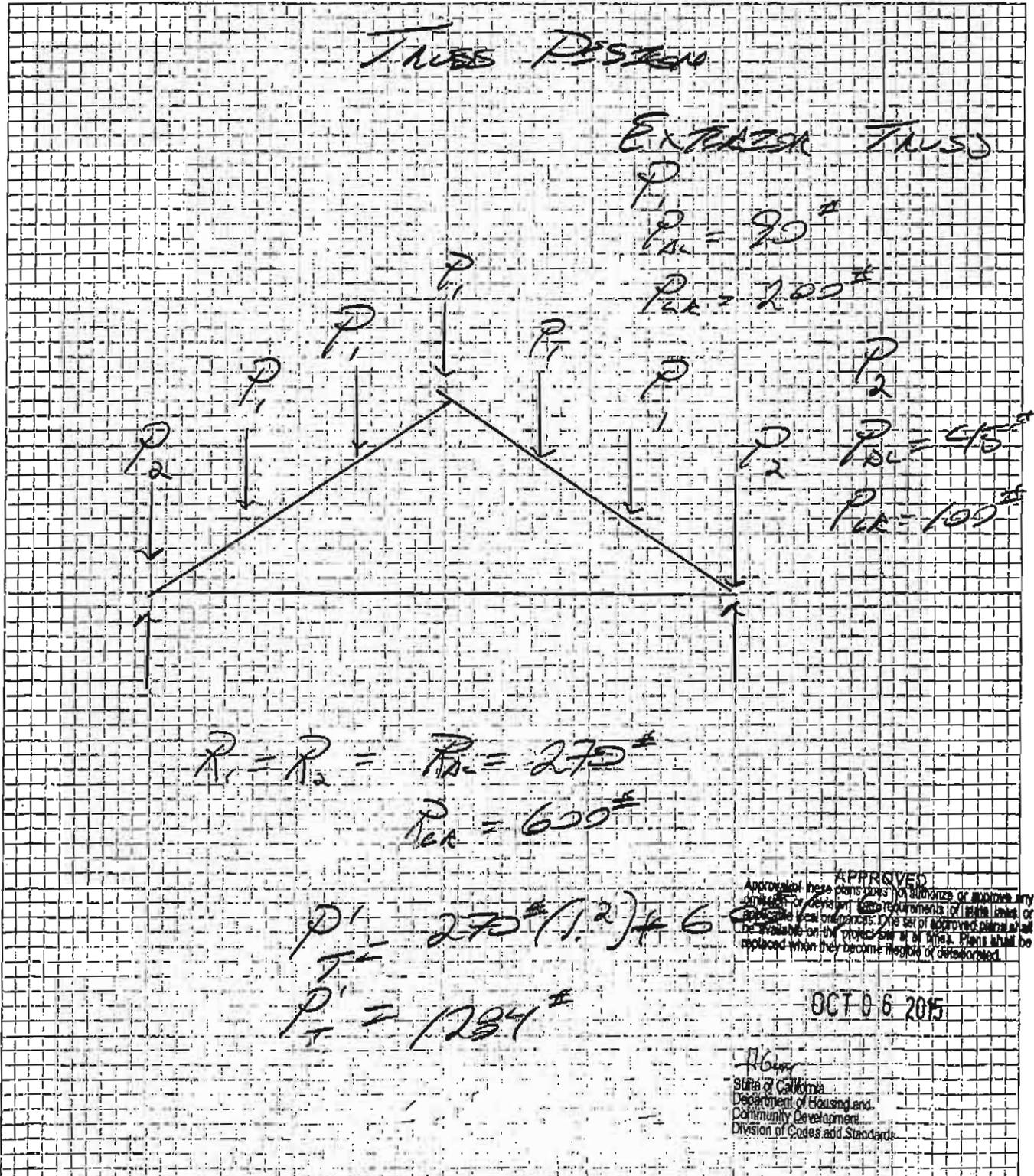


Thickness		Main Member	Side Member	Bolt Diameter	G=0.67 Red Oak		G=0.55 Mixed Maple Southern Pine		G=0.50 Douglas Fir-Larch		G=0.49 Douglas Fir-Larch (N)		G=0.46 Douglas Fir(S) Hem-Fir(N)		G=0.43 Hem-Fir		G=0.42 Spruce-Pine-Fir		G=0.37 Redwood (open grain)		G=0.36 Eastern Softwoods Spruce-Pine-Fir(S) Western Cedars Western Woods		G=0.35 Northern Species	
t _m in.	t _s in.				D in.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.	Z _⊥ lbs.	Z lbs.
1-1/2	1/4	1/2	1410	730	1150	550	1050	470	1030	460	970	420	900	380	880	370	780	310	760	290	730	290		
		5/8	1760	810	1440	610	1310	530	1290	520	1210	470	1130	420	1100	410	970	350	950	330	910	320		
		3/4	2110	890	1730	660	1580	590	1550	560	1450	520	1350	460	1320	450	1170	370	1140	360	1100	350		
1-3/4	1/4	1/2	1640	850	1350	640	1230	550	1200	530	1130	490	1050	450	1030	430	910	360	890	340	850	330		
		5/8	2050	940	1680	710	1630	610	1500	600	1410	550	1310	490	1290	480	1130	400	1110	380	1070	370		
		3/4	2460	1040	2020	770	1840	680	1800	660	1690	600	1580	540	1540	530	1360	430	1330	420	1280	410		
2-1/2	1/4	1/2	1870	1210	1720	910	1650	790	1640	760	1590	700	1500	640	1470	610	1300	510	1270	490	1220	480		
		5/8	2740	1340	2400	1020	2190	880	2150	860	2010	780	1880	700	1840	690	1620	580	1580	560	1520	530		
		3/4	3520	1480	2880	1110	2630	980	2580	940	2410	860	2250	770	2200	750	1950	620	1900	600	1830	580		
3-1/2	1/4	1/2	1870	1240	1720	1100	1650	1030	1640	1010	1590	970	1540	890	1530	860	1450	720	1430	680	1410	670		
		5/8	2740	1720	2510	1420	2410	1230	2390	1200	2330	1090	2260	980	2230	960	2110	810	2090	770	2080	740		
		3/4	3800	2070	3480	1550	3340	1370	3320	1310	3220	1210	3120	1080	3080	1050	2720	870	2680	840	2560	810		
5-1/4	1/4	5/8	2740	1720	2510	1510	2410	1420	2390	1400	2330	1340	2260	1280	2230	1270	2110	1170	2090	1140	2060	1120		
		3/4	3800	2290	3480	2000	3340	1890	3320	1850	3220	1780	3120	1610	3090	1580	2920	1300	2890	1260	2840	1220		
		7/8	5060	2930	4630	2570	4440	2210	4410	2110	4280	1930	4150	1750	4110	1700	3550	1420	3480	1360	3370	1290		
5-1/2	1/4	5/8	2740	1720	2510	1510	2410	1420	2390	1400	2330	1340	2260	1280	2230	1270	2110	1170	2090	1140	2060	1120		
		3/4	3800	2290	3480	2000	3340	1890	3320	1850	3220	1780	3120	1690	3090	1660	2920	1380	2890	1320	2840	1280		
		7/8	5060	2930	4630	2570	4440	2210	4410	2210	4280	2020	4150	1830	4110	1740	3410	1290	3340	1240	3270	1160		
7-1/2	1/4	5/8	2740	1720	2510	1510	2410	1420	2390	1400	2330	1340	2260	1280	2230	1270	2110	1170	2090	1140	2060	1120		
		3/4	3800	2290	3480	2000	3340	1890	3320	1860	3220	1780	3120	1690	3090	1670	2920	1530	2890	1500	2840	1480		
		7/8	5060	2930	4630	2570	4440	2210	4410	2230	4280	2260	4150	2160	4110	2120	3550	1460	3480	1410	3370	1340		
9-1/2	1/4	3/4	3800	2290	3480	2000	3340	1890	3320	1850	3220	1780	3120	1690	3090	1670	2920	1530	2890	1500	2840	1480		
		7/8	5060	2930	4630	2570	4440	2410	4410	2360	4280	2260	4150	2160	4110	2130	3880	1980	3840	1930	3770	1870		
		1	6520	3640	5960	3180	5720	3000	5670	2940	5510	2840	5330	2700	5280	2660	4990	2440	4930	2400	4850	2350		
11-1/2	1/4	7/8	5060	2930	4630	2570	4440	2410	4410	2360	4280	2260	4150	2160	4110	2130	3880	1980	3840	1930	3770	1870		
		1	6520	3640	5960	3180	5720	3000	5670	2940	5510	2840	5330	2700	5280	2660	4990	2440	4930	2400	4850	2350		
13-1/2	1/4	1	6520	3640	5960	3180	5720	3000	5670	2940	5510	2840	5330	2700	5280	2660	4990	2440	4930	2400	4850	2350		

1. Tabulated lateral design values (Z) for bolted connections shall be multiplied by all applicable adjustment factors (see Table 10.3.1).
 2. Tabulated lateral design values (Z) are for "full diameter" bolts (see Appendix L) with bending yield strength (F_y) of 45,000 psi and a dowel bearing strength (F_b) of 87,000 psi for ASTM A 36 steel.

PROJECT TENT CABIN
 SUBJECT COVERED TENT

JOB NO. 2537
 BY MAB DATE 7 JULY '15
 CHECKED _____ DATE _____
 SHEET NO. _____ OF _____



CALCULATION SHEET

PROJECT _____

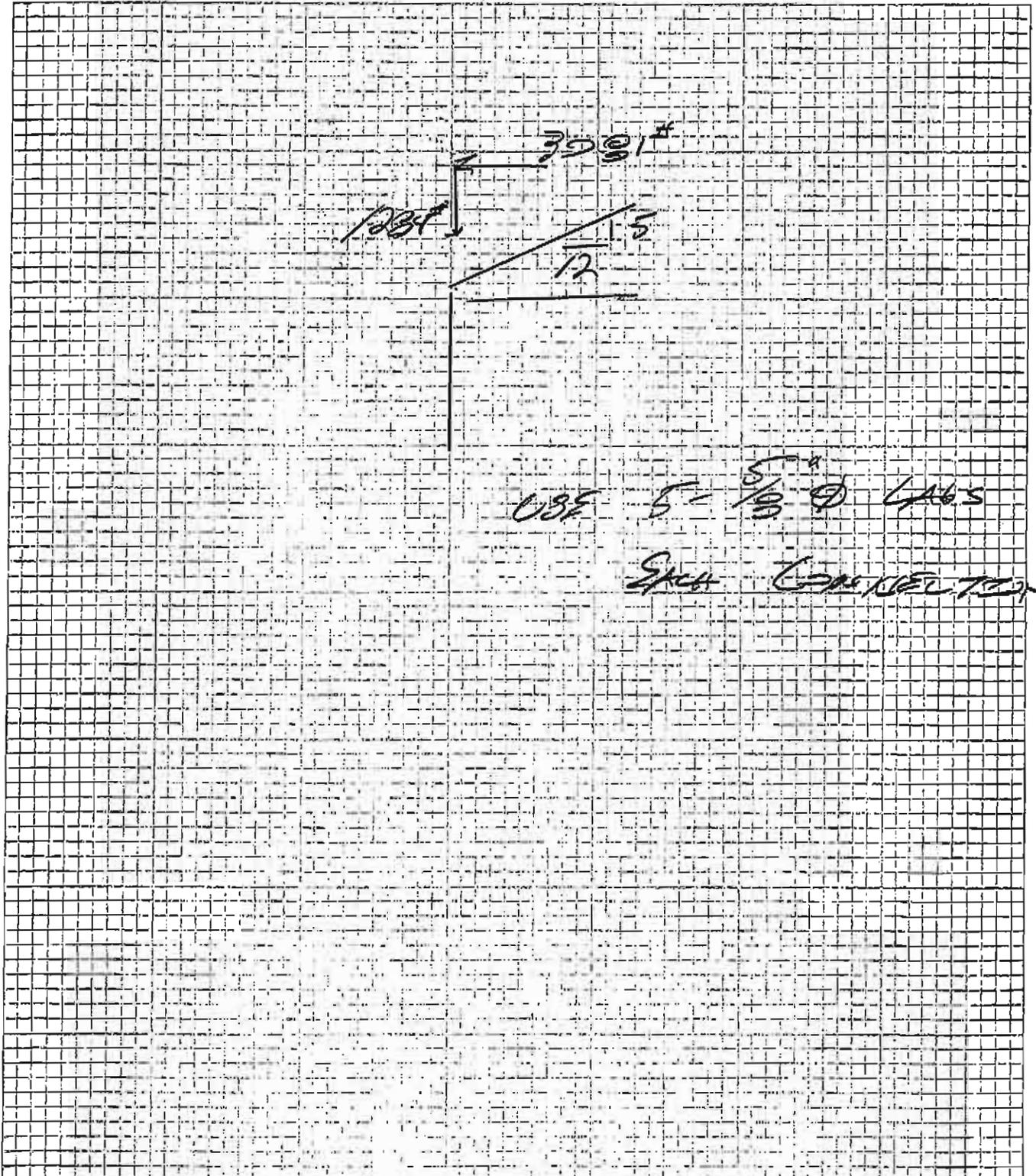
JOB NO. _____

SUBJECT _____

BY _____ DATE _____

CHECKED _____ DATE _____

SHEET NO. _____ OF _____



LAG SCREWS

Table 11J LAG SCREWS: Reference Lateral Design Values (Z) for Single Shear (two member) Connections^{1,2,3}

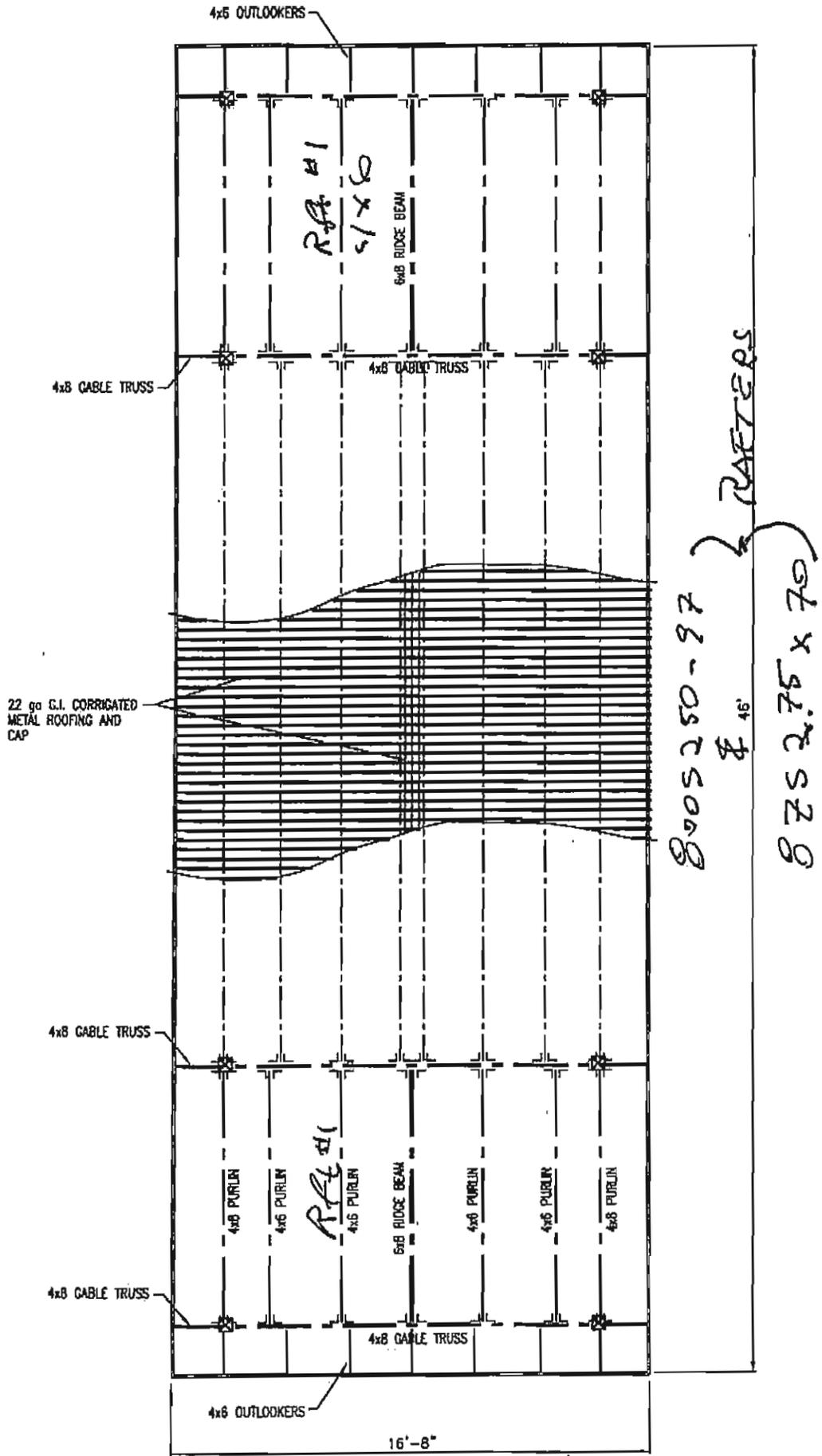
for sawn lumber or SCL with both members of identical specific gravity



Sides Member Thickness	Lag Screw Diameter	G=0.67 Red Oak				G=0.55 Mixed Maple Southern Pine				G=0.50 Douglas Fir-Larch				G=0.49 Douglas Fir-Larch(N)				G=0.46 Douglas Fir(S) Hem-Fir(N)			
		Z ₁	Z _{2L}	Z _{2N}	Z _L	Z ₁	Z _{2L}	Z _{2N}	Z _L	Z ₁	Z _{2L}	Z _{2N}	Z _L	Z ₁	Z _{2L}	Z _{2N}	Z _L	Z ₁	Z _{2L}	Z _{2N}	Z _L
t	D	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.	lbs.
1/2	1/4	160	110	110	110	130	90	100	90	120	90	90	80	120	90	90	80	110	80	90	80
	5/16	170	130	130	120	160	110	120	100	160	100	110	100	140	100	110	90	140	100	100	90
	3/8	180	130	130	120	160	110	110	100	150	100	110	90	150	90	110	80	140	90	100	90
5/8	1/4	160	120	130	120	140	100	110	100	130	90	100	90	130	90	100	90	120	90	90	80
	5/16	180	140	140	130	160	110	120	110	160	110	110	100	160	100	110	100	150	100	110	90
	3/8	190	130	140	120	170	110	120	100	160	100	110	100	160	100	110	90	160	100	110	90
3/4	1/4	180	140	140	130	150	110	120	110	140	100	110	100	140	100	110	90	130	90	100	90
	5/16	210	150	160	140	180	120	130	120	170	110	120	100	180	110	120	100	180	100	110	100
	3/8	210	140	160	130	180	120	130	110	170	110	120	100	170	110	120	100	160	100	110	90
1	1/4	180	140	140	140	160	120	120	120	150	120	120	110	150	110	110	110	150	110	110	100
	5/16	230	170	170	160	210	140	150	130	190	130	140	120	190	120	140	120	180	120	130	110
	3/8	230	160	170	160	210	130	150	120	200	120	140	110	190	120	140	110	180	110	130	100
1-1/4	1/4	180	140	140	140	160	120	120	120	150	120	120	110	150	110	110	110	150	110	110	100
	5/16	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	130	140	120
	3/8	230	170	170	160	210	150	150	140	200	140	140	130	200	130	140	120	190	120	140	120
1-1/2	1/4	180	140	140	140	180	120	120	120	150	120	120	110	180	110	110	110	150	110	110	100
	5/16	230	170	170	160	210	160	160	140	200	140	140	130	200	140	140	130	190	140	140	130
	3/8	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	120
1-3/4	1/4	180	140	140	140	160	120	120	120	150	120	120	110	150	110	110	110	150	110	110	100
	5/16	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	130
	3/8	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	120
2	1/4	950	550	550	520	830	470	560	410	770	440	510	380	780	430	510	370	730	400	480	360
	5/16	1240	720	830	630	1080	560	710	540	1020	480	660	490	1010	470	650	470	970	430	610	430
	3/8	1550	800	1010	780	1360	600	870	600	1290	530	810	530	1280	500	790	500	1230	470	760	470
2-1/2	1/4	180	140	140	140	160	120	120	120	150	120	120	110	150	110	110	110	150	110	110	100
	5/16	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	130
	3/8	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	120
3	1/4	1110	680	740	610	1010	550	650	490	980	500	610	450	950	480	600	430	920	480	580	410
	5/16	1550	830	1000	740	1370	690	880	600	1280	630	830	550	1260	620	810	530	1190	580	770	500
	3/8	1940	980	1270	880	1680	830	1080	720	1650	770	990	660	1520	750	970	640	1450	720	920	620
3-1/2	1/4	180	140	140	140	160	120	120	120	150	120	120	110	150	110	110	110	150	110	110	100
	5/16	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	130
	3/8	230	170	170	160	210	150	150	140	200	140	140	130	200	140	140	130	190	140	140	120

1. Tabulated lateral design values (Z) shall be multiplied by all applicable adjustment factors (see Table 10.3.1).
2. Tabulated lateral design values (Z) are for "reduced diameter body" lag screws (see Appendix L) inserted in side grain with screw axis perpendicular to wood fibers; minimum screw penetration, p, into the main member equal to 8D; screw bending yield strength, F_b, = 70,000 psi for D = 1/4"; F_b = 60,000 psi for D = 5/16"; F_b = 45,000 psi for D ≥ 3/8"
3. When 4D ≤ p < 8D, tabulated lateral design values (Z) shall be multiplied by p/8D.

APPROVED
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards



ROOF FRAMING

3/16"=1'-0"



Cashiered Amt	Balance
5,470.00	1,550.00

DTN	ID Number	Applicant	Application Type
8579393	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579399	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579400	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579401	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579402	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579403	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579404	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579405	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579406	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories
8579407	42-0118-MP	FPA FLYING FLAGS LP	MP-PTC Accessories



DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF CODES AND STANDARDS
ACTIVITY REPORT

Department Use Only

Date: 10/19/2015 Report by: Ken Pergeson Telephone 805-746-7557

Applicant: Rick Klippers Telephone: 253-355-0803

Address: 180 Avenue of the Flags, Buelton Ca. 93427

Activity Site: (if other than above) Flying Flags RV Park

180 Avenue of the Flags, Buelton Ca. 93427

Owner: (if other than above) Flying Flags Associates

Address:

PURPOSE OF REPORT: (Checked [x] as appropriate)

[] INSPECTION RECORD ONLY

[] INFORMATION ONLY

[x] NOTICE OF VIOLATION AND RELATED INFORMATION:

This report provides notice of violations or information related to the California Health and Safety Code, Division 13 or the California Code of Regulations, Title 25, Division 1, Chapter 2.3, Sections Indicated. Copies of the laws and regulations may be obtained from Barclays Law Publishers, P.O. Box 3066, South San Francisco, CA 94083-3066, or online at www.oal.ca.gov, or at most libraries.

Violations indicated shall be corrected and a written request for further inspection filed with the Area Office indicated above within 10 days or as otherwise noted. The request for inspection shall be accompanied by a minimum fee of \$Double.

A permit shall be obtained from the Area Office identified above for work to correct item(s) # 1.

If you believe this report has been issued in error or is legally or factually incorrect, you have a right to an informal review and/or hearing. Please contact the Area Supervisor at the Area Office indicated above.

INSPECTION UNIT IDENTIFICATION:

Type of Unit: RT Decal:

Manufacturer: Year: Model:

HUD Label or HCD Insignia No.:

Serial No. or V.I.N.:

FILE IDENTIFICATION:

CPT Assignment #:

FAC ID #42-0118-MP

LABOR DATA:

DR ID: 153

Date: 10/19/2015

PCA/ACT CODE: AS/UQI

CO: 42

TR MILES: 154

TR TIME: 3

TIME INSP/ACT: 1.5

INSPECTION DATA:

[] Time Report Only

[] Progress Inspection

[x] Initial Inspection

[] Re-Inspection

VIOLATION DATA:

TOTAL: 3

S F E M P

G/O 2 NP 1 NO-PTO []

EH INSPECTION DATA:

[] Active [] Inactive

MAX CAP: P CAP: OCC:

SFD: DORM: MH/RV: O

FEE ACCOUNTING:

DTN#:8579402

Table with 4 columns: USED, DUE, ATTACHED, and a row for INSPECTION with value \$3,920.

Attached Fee I.D.:

INSPECTIONS RESULTS OR INFORMATION:

Conducted a scheduled inspection at the above location under the authority of the California Health and Safety Code Division 13, Part 2.3 Special Occupancy Parks Act and Title 25 California Code of Regulations Division 1, Chapter 2.2, Section 2044 and 2048.

The construction foreman, Ron Biddlecom (530-360-6990) was present for this inspection.

The contractor requested an initial inspection to correct violations for constructing 10 permanent freestanding awnings "covered areas", to be used for housing canvas tents which were constructed without permits or inspections; a Stop Worker Order and Do Not Occupy directive was posted on 08/13/2015 to prevent the completion of the structures and the utility components and to prevent the structures from being used by the public.

The 10 awnings were observed during the requested inspection on 10/19/2015. The structures were not

Received By: Title:

DEPARTMENT USE ONLY: [] Close File [] Reinspection Required [] Progress Inspection Required

Enforcement Action Needed: [] FCO [] NOI [] Other:

COPIES SENT TO: [] Applicant [] MH/RV Owner [] Park Operator/Owner [] SAA [] HQ [] Other:

REVIEWED BY: DATE: COPIES SENT BY: DATE:



ACTIVITY REPORT CONTINUED

constructed to approved plans and applicable codes. Unfortunately the awning structures are Not allowed to occupy a lot, common area or camping area or any other known area in the park and must be removed. Nine "tent sites" were approved in this specific area during the expansion and only uses in compliance in T25 CCR Ch. 2.2 may occupy these sites.

G/O-1) The freestanding awning structures, components and utilities are not allowed and are unsafe structures in violation T25 CCR Ch. 2.2, Section 2424. Do not occupy the structures. Remove all non-compliant structures and components within 10 days.

G/O-2) The approved and issued permits are in violation the California Health and Safety Code Division 13, Part 2.3 Special Occupancy Parks Act and Title 25 California Code of Regulations Division 1, Chapter 2.2; and are deemed null and void as required by Section 2044.

NP-1) Building permits have not been approved for the already installed air-conditioning, electrical, water and drain add on systems on these "tent sites" and remain in violation. Remove the unpermitted utility component or submit for permits of all components that are allowable under the code within 10 days.

Any questions about this report, contact me at 805-746-7557

Ken Pergeson DRI

The person receiving this Notice of Violation disagrees with:

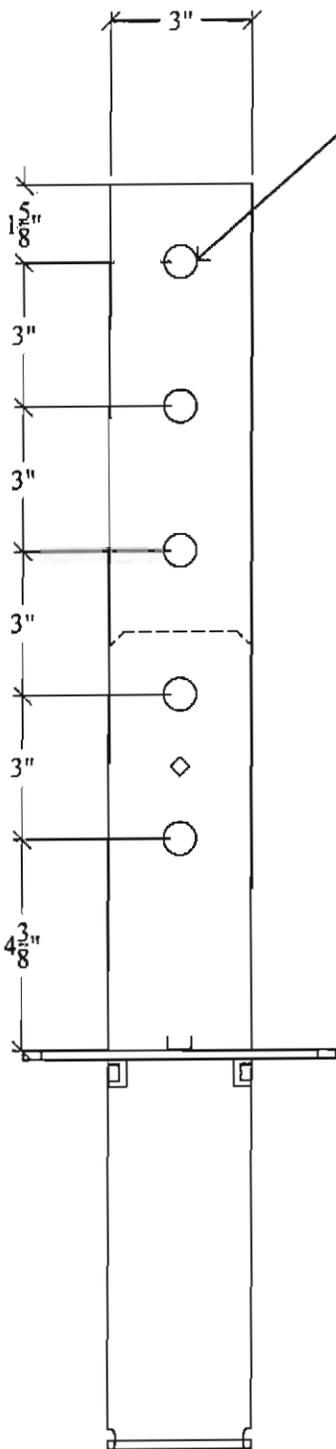
- (1) The existence of one or more alleged violations.
- (2) The alleged failure to correct the violations in the required time frame had not been complied with.
- (3) The time frame within which the violations shall be corrected is not sufficient.

You have the right to submit a written request for an Informal Conference. Any written request for an Informal Conference must contain the following information:

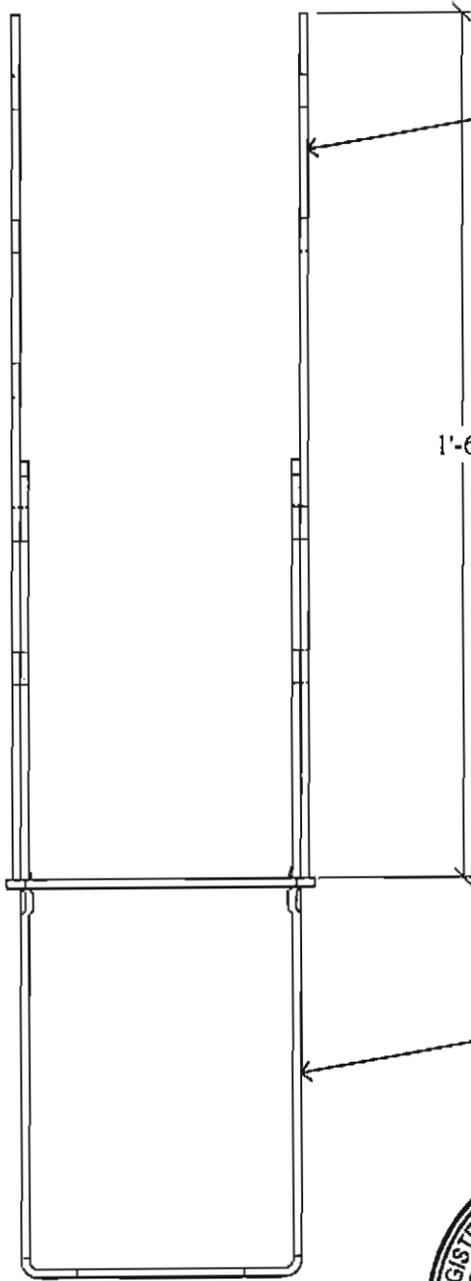
- The name, address, and telephone number of the person requesting the Informal Conference.
- A brief description of the issues disputed.

Submit your request to the following location:

Department of Housing and Community Development – Codes and Standards
Gabriel Contreras – CSA-I
3737 Main St, Suite 400, Riverside CA, 92501, (951) 782-4420,



5/8" THRU BOLTS



1/8" EXTENSION PLATE
3" WIDE X 18" TALL

1'-6"

CB66 BASE PLATE



Coast-Valley Testing, Inc.

November 4, 2015
Order Number: 62040
Reference Number: 15-7060

FPA Flying Flags Associates LP
C/O Trinity Property Consultants
4685 MacArthur Court – Suite # 400
Newport Beach, CA 92660

SUBJECT: Tent Site Roof Covers
Flying Flags RV Resort
180 Avenue of Flags
Buellton, California

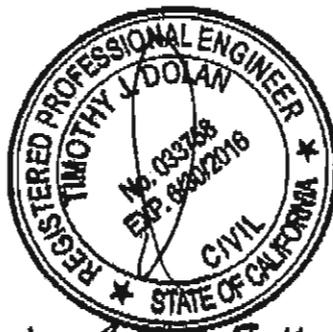
Coast Valley Testing, Inc. Reference Number: 15-7060

Dear Sirs:

Per Ron Bittlecombs request, the undersigned inspected the foundation for (9) tent site roof covers at the subject site on 11-2-15 thru 11-4-15. The following was inspected / noted;

1. Pier footings ~ 32 inches square by 36 inches deep.
2. Pier footing rebar/hardware;
 - a). Double mat of rebar ~ 1 in the top and 1 in the bottom – 4- #4 rebar per mat.
 - b). CB 66 post hardware with #4 “U” hook (18 inches long X 6 inches wide X 18 inches long).
3. Grade beams 12 inches wide by 24 inches deep with 4 - #4 horizontal rebar (2 in the top and 2 in the bottom).
4. (2) sets of concrete cylinders taken (1 set 11-02-15 ~ 1 set 11-04-15), Mission concrete 3000 psi 50/50 mix.

TJD/cp



Respectfully,
Coast Valley Testing, Inc.

Timothy J. Dolan, President
RCE 33758 Expires 06-30-2016

360 South Fairview Avenue Suite A. Goleta, California 93117
Goleta Office (805) 964-3509
Los Olivos Office (805) 688-3577
Fax (805) 964-9897

FIELD REPORT

TO: FLYING FLAG RV SUBJECT TENT SITE DATE 11-2-15
ADDRESS: RESORT ROOF COVERS
CITY: OF BUELLTON 180 FLYING FLAG AVE
BUELLTON

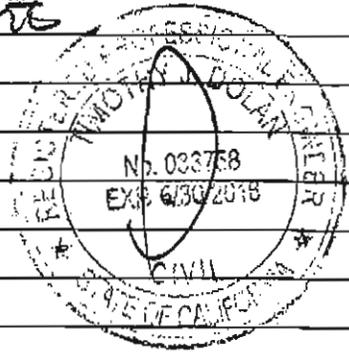
INSPECTED FOOTINGS FOR (9) TENT

ROOF COVERS (EXTENSION POST FOOTINGS

- 4 e each TENT STRUCTURE - OUTSIDE

FOOTINGS. THE FOLLOWING WAS NOTED;

- ① FOOTING 32" SQUARE BY 36" DEEP (#)
- ② GRADE BEAMS 12" WIDE X 24" DEEP WITH 4-#4 REBAR (2 TOP - 2 BOTTOM)
- ③ 2 MATS OF REBAR e EACH POST FOOTING 4-#4 - (1 TOP - 1 BOTTOM)
- ④ CB 66 POST HARDWARE WITH "U" BAR INTO FOOTING 18" x 6" x 18"
- ⑤ 1 SET OF CONCRETE CYLINDERS TAKEN



Coast-Valley Testing, Inc.

360 South Fairview Avenue, Suite A

Goleta, California 93117

Goleta Office (805) 964-3509

Los Olivos Office (805) 688-3577

FIELD REPORT

TO: FLYING FLAGS 12V REPORT ~~RENT~~ SUBJECT: TENT SITE(S) DATE: 11-~~25~~⁴-15

ADDRESS: _____
CITY: FT BELTON

ROOF COVERS
18 (A KE OF FLOOR)
BELTON, CO

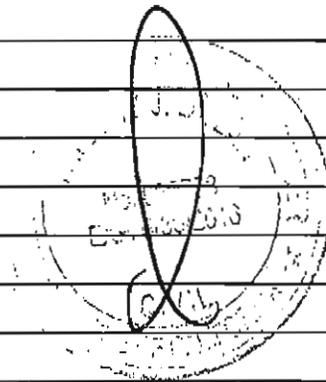
REMAINDER OF TENT SITE ROOF COVER

FOOTINGS PAVED

FOOTINGS AND LAYOUT PERFORM DIMENSIONS,

REBAR: HANDWORK SAME AS

REPORTED 11-2-15





DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF CODES AND STANDARDS
ACTIVITY REPORT

FILE IDENTIFICATION:

CPT Assignment #:
FAC ID #:42-0118-MP

LABOR DATA:

DR ID: 153 Date: 10/19/2015

PCA/ACT CODE: AS/UCI CO: 42

TR MILES: 154 TR TIME: 3

TIME INSP/ACT: 1.5

INSPECTION DATA:

Time Report Only Progress Inspection
Initial Inspection Re-Inspection

VIOLATION DATA:

TOTAL: 3
S F E M P
G/O 2 NP 1 NO-PTO

EH INSPECTION DATA:

Active Inactive
MAX CAP: P CAP: OCC:
SFD: DORM: MH/RV: O

FEE ACCOUNTING:

DTN#:8579402

Table with 4 columns: Category, USED, DUE, ATTACHED. Rows: INSPECTION (\$3,920), INSIGNIA, OTHER

Attached Fee I.D.:

Date: 10/19/2015 Report by: Ken Pergeson Telephone: 805-746-7557

Applicant: Rick Klippers Telephone: 253-355-0803

Address: 180 Avenue of the Flags, Buelton Ca. 93427

Activity Site: Flying Flags RV Park

180 Avenue of the Flags, Buelton Ca. 93427

Owner: Flying Flags Associates

Address:

PURPOSE OF REPORT: (Checked as appropriate)

- INSPECTION RECORD ONLY
INFORMATION ONLY
NOTICE OF VIOLATION AND RELATED INFORMATION:

This report provides notice of violations or information related to the California Health and Safety Code, Division 13 or the California Code of Regulations, Title 25, Division 1, Chapter 2.3, Sections indicated. Copies of the laws and regulations may be obtained from Barclays Law Publishers, P.O. Box 3066, South San Francisco, CA 94083-3066, or online at www.oal.ca.gov, or at most libraries.

Violations indicated shall be corrected and a written request for further inspection filed with the Area Office indicated above within 10 days or as otherwise noted. The request for inspection shall be accompanied by a minimum fee of \$Double.

A permit shall be obtained from the Area Office identified above for work to correct item(s) #

believe this report has been issued in error or is legally or factually incorrect, you have a right to an informal review and/or hearing. Please contact the Area Supervisor at the Area Office indicated above.

INSPECTION UNIT IDENTIFICATION:

Type of Unit: RT Decal:
Manufacturer: Year: Model:
HUD Label or HCD Insignia No.:
Serial No. or V.I.N.:

INSPECTIONS RESULTS OR INFORMATION:

Conducted a scheduled inspection at the above location under the authority of the California Health and Safety Code Division 13, Part 2.3 Special Occupancy Parks Act and Title 25 California Code of Regulations Division 1, Chapter 2.2, Section 2044 and 2048.

The construction foreman, Ron Biddlecom (530-360-6990) was present for this inspection.

The contractor requested an initial inspection to correct violations for constructing 10 permanent freestanding awnings "covered areas", to be used for housing canvas tents which were constructed without permits or inspections; a Stop Worker Order and Do Not Occupy directive was posted on 08/13/2015 to prevent the completion of the structures and the utility components and to prevent the structures from being used by the public.

The 10 awnings were observed during the requested inspection on 10/19/2015. The structures were not

Reviewed By: Title:

DEPARTMENT USE ONLY: Close File Reinspection Required Progress Inspection Required

Enforcement Action Needed: FCO NOI Other:

COPIES SENT TO: Applicant MH/RV Owner Park Operator/Owner SAA HQ Other:

REVIEWED BY: DATE: COPIES SENT BY: Page 279 of 346 DATE:



ACTIVITY REPORT CONTINUED

DATE: 10/19/2015

constructed to approved plans and applicable codes. Unfortunately the awning structures are Not allowed to occupy a lot, common area or camping area or any other known area in the park and must be removed. Nine "tent sites" were approved in this specific area during the expansion and only uses in compliance in T25 CCR Ch. 2.2 may occupy these sites.

G/O-1) The freestanding awning structures, components and utilities are not allowed and are unsafe structures in violation T25 CCR Ch. 2.2, Section 2424. Do not occupy the structures. Remove all non-compliant structures and components within 10 days.

G/O-2) The approved and issued permits are in violation the California Health and Safety Code Division 13, Part 2.3 Special Occupancy Parks Act and Title 25 California Code of Regulations Division 1, Chapter 2.2; and are deemed null and void as required by Section 2044.

NP-1) Building permits have not been approved for the already installed air-conditioning, electrical, water and drain add on systems on these "tent sites" and remain in violation. Remove the unpermitted utility component or submit for permits of all components that are allowable under the code within 10 days.

Any questions about this report, contact me at 805-746-7557

Ken Pergeson DRI

The person receiving this Notice of Violation disagrees with:

- (1) The existence of one or more alleged violations.
- (2) The alleged failure to correct the violations in the required time frame had not been complied with.
- (3) The time frame within which the violations shall be corrected is not sufficient.

You have the right to submit a written request for an Informal Conference. Any written request for an Informal Conference must contain the following information:

- The name, address, and telephone number of the person requesting the Informal Conference.
- A brief description of the issues disputed.

Submit your request to the following location:

Department of Housing and Community Development – Codes and Standards
Gabriel Contreras – CSA-I

3737 Main St, Suite 400, Riverside CA, 92501, (951) 782-4420,



December 2, 2015

Flying Flags Resort
180 Ave of Flags
Buellton, CA 93427

Re: Structural Observation, Tent Cabins, 180 Ave of Flags, Buellton, CA

Dear Sirs:

Per your request I visited the project site on Monday, November 30, 2015 to observe the final framing connections for the referenced project. At the time of my visit I met with you and we discussed the existing framing and structural connections.

The tent cabin structural components were observed to be in compliance with my original calculations dated July 15, 2015 and the revisions as required due to changes in material usage.

Should you have any further questions regarding this matter please feel free to call me at (805) 688-7239.


MARK O. DEHAAN & ASSOCIATES, INC.

Mark DeHaan, P.E.
MDE/abc

WCS022FRAMING

Soils Engineering & Materials Testing

Mailing: P.O. Box 3004, Buellton, CA 93427 • Phone (805) 688-5429 • Fax (805) 688-7239

FOR INSPECTION PLEASE CALL
KEN PERGESON
 805-746-7557

Business, Transportation and Housing Agency
 Department of Housing and Community Development
 Division of Codes and Standards
 Mobilehome and Special Occupancy Parks Programs
APPLICATION FOR PERMIT TO CONSTRUCT
 (VERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

#203 - PLAN
 CHECK
 \$399 TOTAL



Not required for commercial modules or recreational vehicles

LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
 I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.
 I am exempt under Sec. _____ B. & P.C. for the reason:

_____ Date _____

3. WORKERS' COMPENSATION DECLARATION
 I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____
 Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner, so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY
 I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of this work for which this permit is issued (Sec. 8097, Civ. C.).

Lender's Name _____
 Lender's Address _____

5. CERTIFICATION
 I have read this application and state that the information is correct. I agree to comply with all city, county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 8/3/15

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort
 Park Address 180 Ave. of the Fl
 City Builton County Santa B
 Zip 93427 Unincorporated _____ Incorporated

Park Owner APA Flying flags LLC

APPLICANT _____
 CONTRACTOR OWNER Other _____

Address Same as Above Tel. No. _____

Architect/Engineer _____ Lic. No. _____
 Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

New foundation for
Existing Modular Bathroom

Valuation \$ 18,000

SECTION 3 - ACCESSORY BUILDINGS BY STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) foundation

OWNER APA Flying flags LLC Tel. No. (805) 570-6102

Address 180 Ave of the Flags

RESIDENT _____ Tel. No. _____

Lot No. Bedrooms

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG _____ Manufacturer Name/Model Name _____

Insignia/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____

(Signature Required) _____ Date 8/3/15

DEPARTMENT USE ONLY

ID No. H2 0118 MP

TYPE MP AS MBI

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 81609216

Fee Rec'd \$399

Collection Date 10/15

Assigned to Pergeson

Routed By H. Green

Upon Department approval to release, and payment of fees, this permit is issued only for items outlined below.

PERMIT # 81609216

MP \$196

BIDGE _____

MISC. _____

TECH SER. _____

PLOK \$203

S.M.I. _____

ISSUE _____

TOTAL \$399

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local File _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 10/13/15

Issued By H. Green

Expires 4/13/16

on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.

OCT 13 2015

DESIGN CALCULATIONS
FOR:
COMMERCIAL MODULAR
FOUNDATION DESIGN

H. Geary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

PROJECT:
12' x 40' MODULAR RESTROOM BUILDING
FPA FLYING FLAGS ASSOCIATES, L.P.
180 AVENUE OF THE FLAGS
BUELLTON, CALIFORNIA 93427



JUL 29 2015

PREPARED FOR:



2830 BARRETT AVENUE
PERRIS, CALIFORNIA 92571
(951) 943-5393
FAX: (951) 940-9232

PREPARED BY:

ACUMEN
Engineering, Inc.

12808 SOUTH 600 EAST
DRAPER, UTAH 84020
(801) 571 - 9877
FAX (801) 571 - 9951

COVER SHEET	1	ROOF LIVE LOAD:	20 PSF	DESIGN CODE:	2013 CBC
DESIGN LOADS	2	FLOOR LIVE LOAD:	50 PSF	IMPORTANCE FACTOR:	1.0
PIER SPACING	7	PARTITION LOAD:	15 PSF	RISK CATEGORY:	II
FOOTING DESIGN	8	ULT. WIND SPEED /	130 MPH	SPECTRAL RESPONSE	
BASE SHEAR	9	EXPOSURE:	EXP. C	ACCELERATION: (Ss)	1.79 g
OVERTURNING	12	ALLOWABLE SOIL		(S1)	0.62 g
VENTING	13	BEARING CAPACITY:	1800 PSF	SITE CLASS:	D

NOTE: These calculations acts as a supplement to the Silver Creek Structural System and are limited to the design of the roof framing and lateral load resisting system.

Code Search

Code: ASCE 7 - 10

Occupancy:

Occupancy Group = B Business

Risk Category & Importance Factors:

Risk Category = II
 Wind factor = 1.00
 Snow factor = 1.00
 Seismic factor = 1.00

Type of Construction:

Fire Rating:
 Roof = 0.0 hr
 Floor = 0.0 hr

Building Geometry:

Roof angle (θ) 4.00 / 12 18.4 deg
 Building length (L) 40.0 ft
 Least width (B) 12.0 ft
 Mean Roof Ht (h) 11.0 ft
 Parapet ht above grd 0.0 ft
 Minimum parapet ht 0.0 ft

Live Loads:

Roof 0 to 200 sf: 20 psf
 200 to 600 sf: 24 - 0.02Area, but not less than 12 psf
 over 600 sf: 12 psf

Floor:

Typical Floor 50 psf
 Partitions 15 psf

APPROVED
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OCT 13 2015

H. Gary
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

Acumen Engineering, Inc.

12808 South 600 East
 Draper, UT 84020
 801-571-9877
 acumeneng@msn.com

JOB TITLE 12' x 40' Commercial Modular

Foundation Design

JOB NO. _____ SHEET NO. 29
 CALCULATED BY _____ DATE _____
 CHECKED BY _____ DATE _____

Wind Loads : ASCE 7- 10

Ultimate Wind Speed	130 mph
Nominal Wind Speed	100.7 mph
Risk Category	II
Exposure Category	C
Enclosure Classif.	Enclosed Building
Internal pressure	+/-0.18
Directionality (Kd)	0.85
Kh case 1	0.849
Kh case 2	0.849
Type of roof	Gable

Topographic Factor (Kzt)

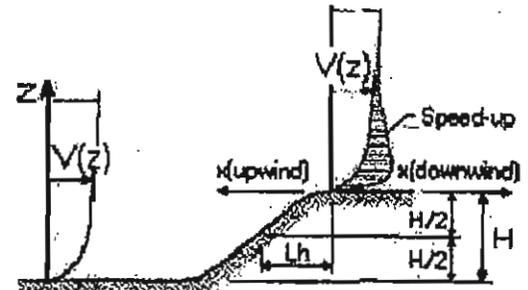
Topography	Flat
Hill Height (H)	0.0 ft
Half Hill Length (Lh)	0.0 ft
Actual H/Lh =	0.00
Use H/Lh =	0.00
Modified Lh =	0.0 ft
From top of crest: x =	50.0 ft
Bldg up/down wind?	downwind

H/Lh = 0.00	K ₁ =	0.000
x/Lh = 0.00	K ₂ =	0.000
z/Lh = 0.00	K ₃ =	1.000

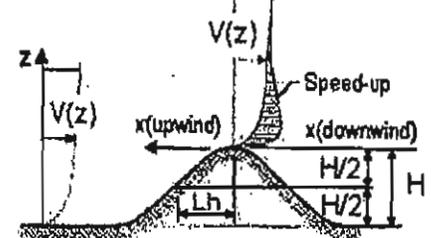
At Mean Roof Ht:

$K_{zt} = (1+K_1K_2K_3)^2 = 1.00$

H < 15ft; exp C
 ∴ K_{zt} = 1.0



ESCARPMENT



2D RIDGE or 3D-ASYMMETRICAL HILL

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Gust Effect Factor

h =	11.0 ft
B =	12.0 ft
lz (0.6h) =	15.0 ft

Flexible structure if natural frequency < 1 Hz (0.1 second)
 However, if building h/B < 4 then probably rigid structure (rule of thumb).

h/B = 0.92 Rigid structure

G = 0.85 Using rigid structure

Al Geary
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

Rigid Structure

ξ =	0.20
ℓ =	500 ft
Z _{min} =	15 ft
c =	0.20
g _a , g _v =	3.4
L _z =	427.1 ft
Q =	0.95
I _z =	0.23
G =	0.90 use G = 0.85

Flexible or Dynamically Sensitive Structure

Natural Frequency (η ₁) =	0.0 Hz		
Damping ratio (β) =	0		
ℓ/b =	0.65		
ℓ/α =	0.15		
V _z =	109.8		
N ₁ =	0.00		
K _n =	0.000		
R _n =	28.282	η =	0.000
R _B =	28.282	η =	0.000
R _L =	28.282	η =	0.000
g _R =	0.000		
R =	0.000		
G =	0.000		

h = 11.0 ft

Acumen Engineering, Inc.

12808 South 600 East
 Draper, UT 84020
 801-671-9877
 acumeneng@msn.com

JOB TITLE 12' x 40' Commercial Modular

Foundation Design

JOB NO. _____
 CALCULATED BY _____
 CHECKED BY _____

SHEET NO. **5**

DATE _____
 DATE _____

Wind Loads - MWFRS h<60' (Low-rise Buildings) Enclosed/partially enclosed only

$K_z = K_h$ (case 1) = 0.85
 Base pressure (q_h) = 31.2 psf
 GC_{pi} = +/-0.18

Edge Strip (a) = 3.0 ft
 End Zone (2a) = 6.0 ft
 Zone 2 length = 6.0 ft

Wind Pressure Coefficients

Surface	CASE A $\theta = 18.4$ deg			CASE B		
	GC _{pf}	w/-GC _{pi}	w/+GC _{pi}	GC _{pf}	w/-GC _{pi}	w/+GC _{pi}
1	0.52	0.70	0.34	-0.45	-0.27	-0.63
2	-0.69	-0.51	-0.87	-0.69	-0.51	-0.87
3	-0.47	-0.29	-0.65	-0.37	-0.19	-0.55
4	-0.42	-0.24	-0.60	-0.45	-0.27	-0.63
5				0.40	0.58	0.22
6				-0.29	-0.11	-0.47
1E	0.78	0.96	0.80	-0.48	-0.30	-0.66
2E	-1.07	-0.89	-1.25	-1.07	-0.89	-1.25
3E	-0.67	-0.49	-0.85	-0.53	-0.35	-0.71
4E	-0.62	-0.44	-0.80	-0.48	-0.30	-0.66
5E				0.61	0.79	0.43
6E				-0.43	-0.25	-0.61

Ultimate Wind Surface Pressures (psf)

1	21.7	10.5	-8.4	-19.7
2	-15.9	-27.2	-15.9	-27.2
3	-9.0	-20.2	-5.9	-17.2
4	-7.3	-18.6	-8.4	-19.7
5			18.1	6.9
6			-3.4	-14.7
1E	30.0	18.7	-9.4	-20.6
2E	-27.8	-39.0	-27.8	-39.0
3E	-15.4	-26.6	-10.9	-22.2
4E	-13.7	-24.9	-9.4	-20.6
5E			24.7	13.4
6E			-7.8	-19.0

Parapet

Windward parapet = 0.0 psf (GC_{pn} = +1.5)
 Leeward parapet = 0.0 psf (GC_{pn} = -1.0)

Windward roof

overhangs = 21.9 psf (upward) add to windward roof pressure

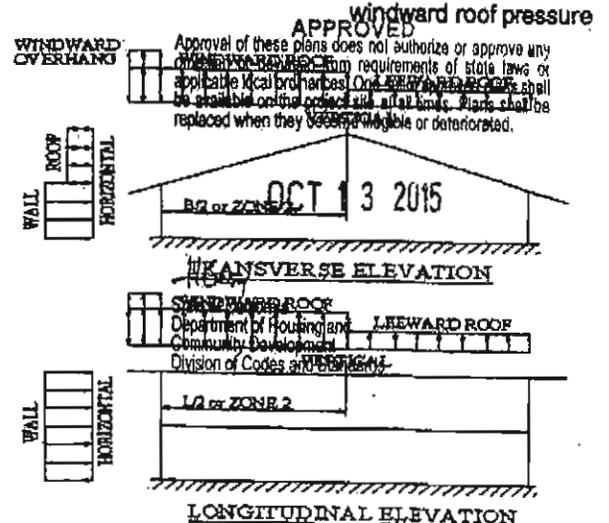
Horizontal MWFRS Simple Diaphragm Pressures (psf)

Transverse direction (normal to L)
 Interior Zone: Wall 29.1 psf
 Roof -6.9 psf **
 End Zone: Wall 43.6 psf
 Roof -12.4 psf **

Longitudinal direction (parallel to L)
 Interior Zone: Wall 21.5 psf
 End Zone: Wall 32.5 psf

** NOTE: Total horiz force shall not be less than that determined by neglecting roof forces (except for MWFRS moment frames).

The code requires the MWFRS be designed for a min ultimate force of 16 psf multiplied by the wall area plus an 8 psf force applied to the vertical projection of the roof.



Acumen Engineering, Inc.

12808 South 600 East

Draper, UT 84020

801-571-9877

acumeneng@msn.com

JOB TITLE 12' x 40' Commercial Modular

Foundation Design

JOB NO.

SHEET NO. 6

CALCULATED BY

DATE

CHECKED BY

DATE

Seismic Loads:

ASCE 7-10

Strength Level Forces

Risk Category : II
 Importance Factor (I) : 1.00
 Site Class : D

S_s (0.2 sec) = 179.30 %g
 S₁ (1.0 sec) = 62.40 %g

F_a = 1.000 S_{ms} = 1.793 S_{DS} = 1.195 Design Category = D
 F_v = 1.500 S_{m1} = 0.936 S_{D1} = 0.624 Design Category = D

Seismic Design Category = D

Number of Stories: 1

Structure Type: Light Frame

Horizontal Struct Irregularities: No plan Irregularity

Vertical Structural Irregularities: 1a) Stiffness Irregularity—Soft Story

Flexible Diaphragms: Yes

Building System: Dual Systems w/ Special Moment Frames Capable of Resisting >= 25% of Seismic Forces

Seismic resisting system: Special reinforced concrete shear walls

System Structural Height Limit: Height not limited

Actual Structural Height (h_n) = 12.0 ft

See ASCE7 Section 12.2.5 for exceptions and other system limitations

DESIGN COEFFICIENTS AND FACTORS

Response Modification Coefficient (R) = 7
 Over-Strength Factor (Ω_o) = 2
 Deflection Amplification Factor (C_d) = 5.5
 S_{DS} = 1.195
 S_{D1} = 0.624

Seismic Load Effect (E) = ρ Q_E +/- 0.2S_{DS} D = ρ Q_E +/- 0.239D
 Special Seismic Load Effect (E_m) = Ω_o Q_E +/- 0.2S_{DS} D = 2.0 Q_E +/- 0.239D

ρ = redundancy coefficient
 Q_E = horizontal seismic force
 D = dead load

PERMITTED ANALYTICAL PROCEDURES

Simplified Analysis - Use Equivalent Lateral Force Analysis

Equivalent Lateral-Force Analysis - Permitted

Building period coef. (C_T) = 0.020Approx fundamental period (T_a) = C_Thⁿ = 0.129 sec x = 0.75

User calculated fundamental period (T) = 0 sec

Long Period Transition Period (TL) = ASCE7 map = 4

Seismic response coef. (C_s) = S_{DS}/R = 0.171need not exceed C_s = S_{d1}/R_T = 0.691but not less than C_s = 0.5*S₁/R = 0.045USE C_s = 0.171

Design Base Shear V = 0.171W

Model & Seismic Response Analysis

- Permitted (see code for procedure)

ALLOWABLE STORY DRIFT

Structure Type: All other structures

Allowable story drift = 0.020h_{sx} where h_{sx} is the story height below level x

APPROVED
 Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be retained on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.
 T_{max} = 0.129
 Use T = 0.129

OCT 13 2015

H. Geary
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

7

PIER SPACING

Input Data:

Floor Live Load: (Fl)	50 psf
Floor Partition Load: (Fp)	15 psf
Floor Dead Load: (Fd)	7 psf
Module Width: (W)	11.83 feet
Pier Capacity: (P)	4000 lbs

Calculations:

Load Acting on Inside Chassis

Main Rails:

$$W_o = ((F_l + F_p + F_d)(W/2)) + W_e \quad 426 \text{ plf}$$

Maximum Spacing of Piers on Inside

$$\text{Main Rails: } S = PW_i$$

9.39 feet → USE 6'-0" PIER SPACING

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OCT 13 2015

H. Geary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

Project: FOOTING DESIGN
 Location: Footing
 Footing
 [2013 California Building Code(2012 NDS)]
 Footing Size: 34.0 IN Wide x 12.0 IN Deep Continuous Footing With 9.0 IN Thick x 24.0 IN Tall Stemwall
 Longitudinal Reinforcement: (4) Continuous #4 Bars
 Transverse Reinforcement: #4 Bars @ 9.00 IN. O.C. (unnecessary)
 Section Footing Design Adequate

Kevin C. Day, P.E.
 Acumen Engineering, Inc.
 12608 South 600 East
 Draper, UT 84020

page
 8
 of

Structural Version 9.0.1.4

7/29/2016 11:54:27 AM

FOOTING PROPERTIES
 Allowable Soil Bearing Pressure: $Q_s = 1800$ psf
 Concrete Compressive Strength: $F'_c = 3000$ psi
 Reinforcing Steel Yield Strength: $F_y = 60000$ psi
 Concrete Reinforcement Cover: $c = 3$ in

FOOTING SIZE
 Width: $W = 34$ in
 Depth: $Depth = 12$ in
 Effective Depth to Top Layer of Steel: $d = 8.25$ in

STEMWALL SIZE
 Stemwall Width: 9 in
 Stemwall Height: 24 in
 Stemwall Weight: 150 pcf

FOOTING CALCULATIONS

Bearing Calculations:
 Ultimate Bearing Pressure: $Q_u = 318$ psf
 Effective Allowable Soil Bearing Pressure: $Q_e = 1650$ psf
 Width Required: $W_{req} = 0.65$ in2

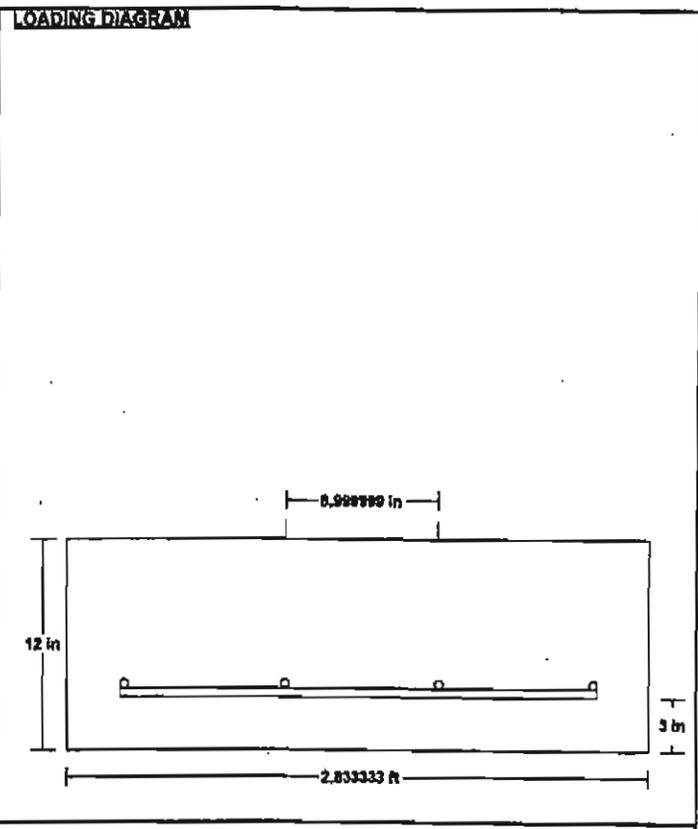
Beam Shear Calculations (One Way Shear):
 Beam Shear: $V_{u1} = 156$ lb
 Allowable Beam Shear: $V_{c1} = 6134$ lb

Transverse Direction:
Bending Calculations:
 Factored Moment: $M_u = 2870$ in-lb
 Nominal Moment Strength: $M_n = 0$ in-lb

Reinforcement Calculations:
 Concrete Compressive Block Depth: $a = 0.51$ in
 Steel Required Based on Moment: $A_s(1) = 0.01$ in2
 Min. Code Req'd Reinf. Shrink/Temp. (ACI-10.5.4): $A_s(2) = 0.26$ in2
 Controlling Reinforcing Steel: $A_{s-reqd} = 0.26$ in2
 Selected Reinforcement: Trans: #4's @ 9.0 in. o.c.
 Reinforcement Area Provided: $A_s = 0.26$ in2

Development Length Calculations:
 Development Length Required: $L_d = 15$ in
 Development Length Supplied: $L_{d-sup} = 9.5$ in

Longitudinal Direction:
Reinforcement Calculations:
 Min. Code Req'd Reinf. Shrink/Temp. (ACI-10.5.4): $A_s(2) = 0.73$ in2
 Controlling Reinforcing Steel: $A_{s-reqd} = 0.73$ in2
 Selected Reinforcement: Longitudinal: (4) Cont. #4 Bars
 Reinforcement Area Provided: $A_s = 0.79$ in2



FOOTING LOADING
 Live Load: $PL = 420$ lb
 Dead Load: $PD = 268$ lb
 Total Load: $PT = 901$ lb
 Ultimate Factored Load: $P_u = 1249$ lb

NOTES

APPROVED
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OCT 13 2016

H. Geary
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

BASE SHEAR CALCULATION

Input Data:

Design Wind Pressure: (P)	26.2 psf
Seismic Load Factor: (SI)	0.171 W
Roof Dead Load: (Rd)	10 psf
Floor Dead Load: (Fd)	7 psf
Exterior Wall Dead Load: (Wd)	8 psf
Roof Live Load used in Seismic Calculation: (Rl)	0 psf
Partition / Fixture Load used in Seismic Calculation: (Pd)	10 psf
Floor Live Load used in Seismic Calculations: (Fl)	0 psf
Building Length: (L)	40 feet
Building Depth: (D)	11.83 feet
Building Area: (A)	473.2 sq. ft.
Exterior Wall Height: (H)	8 feet
Roof Depth: (R)	3 feet
Floor Depth: (F)	0 feet
Miscellaneous Loads: (MI)	1000 lbs

Calculations:

Transverse Load:

Base Shear Due to Wind:	
$V_w = P \times (R + F + H) \times L$	11528 lbs
Base Shear Due to Seismic:	
$V_s = (SI) \times ((A)(Rd + Fd + Rl + Pd + Fl) + ((L + D) \times 2 \times H \times Wd)) + MI$	3490 lbs
Governing Transverse Base Shear: (V)	11528 lbs

Longitudinal Load:

Base Shear Due to Wind:	
$V_w = P \times (R + F + H) \times D$	3409 lbs
Base Shear Due to Seismic: (Vs)	3490 lbs
Governing Longitudinal Base Shear: (VI)	3490 lbs

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OCT 13 2015

H. Geary
 State of California
 Department of Housing and
 Community Development
 Division of Codes and Standards

LATERAL DESIGN - TRANSVERSE LOADING

- LATERAL LOAD ACTING ON WELD PLATES: (2 EACH END)

$$V = \frac{11,520}{(2)(2)} = 2880 \# / \text{WELD PLATE (WIND LOADING)}$$

- CHECK CAPACITY OF 3/16" FILLET WELD, 3" LONG:

- EFFECTIVE THROAT SIZE: $t_e = 0.707(0.25") = 0.088"$

- USING E70XX WELD MATERIAL:

$$\text{ALLOWABLE STRESS} = (0.3)(70) = 21.0 \text{ ksi}$$

- STRENGTH OF WELD: $F_w = 21.0 \times 0.088" \times 3.0" = 5.5 \text{ k}$

$$F_w > V \therefore \text{OK}$$

- CHECK CAPACITY OF 5/8" A.B. IN CONCRETE:

- FROM TABLE 1908.2 (2013 CBC): $V = 2750(1.33) = 3658 \#$
LDF
VALUE FOR 2500 PSI
CONC.

- USING (2) ANCHOR BOLTS PER WELD PLATE:

$$F_b = (2)(3.66) = 7.32 \# / \text{WELD PLATE}$$

$$F_b > V \therefore \text{OK}$$

APPROVED
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HGM
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Division of Codes and Standards

LATERAL DESIGN

- SHEAR STRESS IN LONGITUDINAL DIRECTION:

$$v = \frac{3490}{(2)40} = 44 \text{ PSI}$$

- FLOOR TO SILL PLATE CONNECTION

- USE SIMPSON TP35 w/ (9) 8d x 1 1/2" NAILS EACH SIDE.

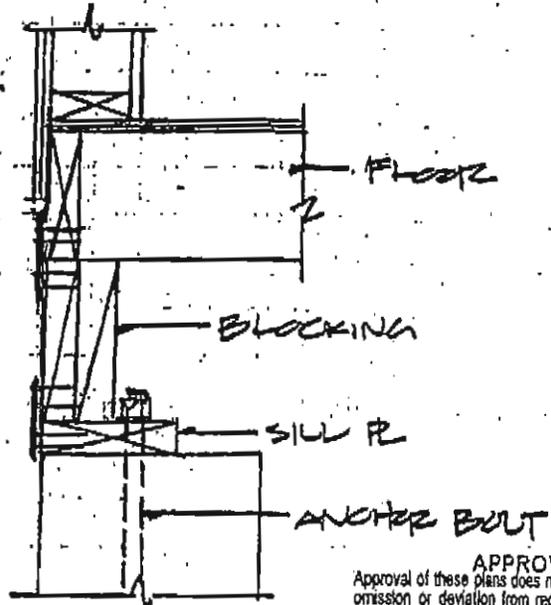
CAPACITY OF EACH TP35:

$$V = (9)(74)(1.33) = 886 \#$$

SPACING OF TP35s

$$S = \frac{886}{44} = 20.1'$$

∴ USE 48" OC



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- SILL PLATE TO FOUNDATION:

- USE 5/8" A307 A.B.

CAPACITY IN SILL PL: $V = \frac{1}{2} (1380) (1.33) = 918 \#$ (CONCRETE)

(REF. A.I.T.C. TABLE 6.20)

CAPACITY IN CONCRETE: $V = 1330 (1.33) = 1769 \#$

(REF: 2012 CBC, TABLE 1908.A.2)

A.B. SPACING: $S = \frac{918}{44} = 21.3' \rightarrow$ USE 48" OC

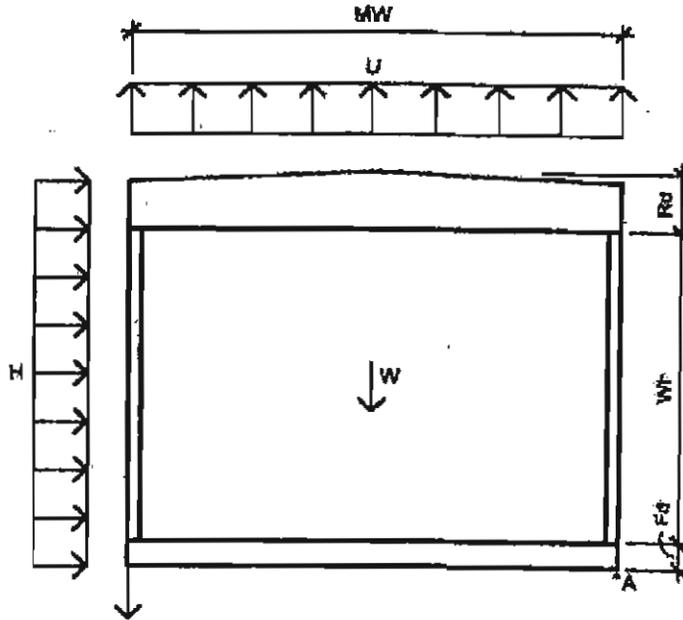
H. Gary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

ANCHOR DESIGN (OVERTURNING)

- CHECK FOR OVERTURNING (12' x 40' Building)
- BY OBSERVATION, WIND IN TRANSVERSE DIRECTION IS CRITICAL.
- CHECK OVERTURNING ABOUT POINT 'A' TO ENSURE ADEQUATE GROUND ANCHOR QUANTITY.

Input Data:

Module Width: (MW)	11.83 ft
Module Length: (ML)	40 ft
Roof Depth: (R _d)	3 ft
Wall Height: (W _h)	8 ft
Floor Depth: (F _d)	0.00 ft
Roof Dead Load: (R _{DL})	10 lbs
Wall Dead Load: (W _{DL})	8 lbs
Floor Dead Load: (F _{DL})	7 lbs
Uplift Pressure: (P _U)	15.2 psf
Horizontal Pressure: (P _H)	20.7 psf
Anchor Capacity: (Ac)	886 lbs
Number of Anchors: (N)	11



Calculations:

Module Height: (M _h) = R _d + W _h + F _d =	11.00 ft
Distributed Horizontal Load: (H) = P _H * M _L * M _h =	9108 lbs
Distributed Uplift: (U) = P _U * MW * ML =	7193 lbs
Dead Load: (W)	
W = ((R _{DL} + F _{DL}) * (MW + ML)) + (2 * W _h * W _{DL} * (MW + ML)) =	14679 lbs

Overturning Moment:

Mo = (H * (0.5 * M_h)) + (0.5 * U * MW) =

92638 lbs-ft

APPROVED
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Resisting Moment:

Mr = (W * 0.5 * MW) + (N * Ac * MW) =

202119 lbs-ft

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Mr > 1.5Mo

TRUE

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 Department of Housing and
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 Division of Codes and Standards

CRAWL SPACE VENTING

INPUT DATA:

Building Length: (L) 40 feet
Building Depth: (D) 12 feet

Vented Access Opening Height: (Ha) 1.50 feet
Vented Access Opening Width: (Wa) 2 feet
Number of Access Openings: (Na) 1

Vent Opening Height: (Hv) 0.67 feet
Vent Opening Width: (Wv) 2 feet
Number of Vent Openings: (Nv) 1

Venting Required: (Vr) 1/1500 sq. ft.

AREA OF CRAWL SPACE:

$A = L \times D$ 480 sq. ft.

REQUIRED VENT AREA:

$A_r = A \times V_r$ 0.32 sq. ft.

AREA OF ACCESS OPENING:

$A_a = H_a \times W_a$ 3 sq. ft.

AREA OF EACH VENT OPENING:

$A_v = H_v \times W_v$ 1.33 sq. ft.

TOTAL VENT AREA PROVIDED:

$A_{vt} = (N_a)(A_a) + (N_v)(A_v)$ 4.33 sq. ft. > A_r

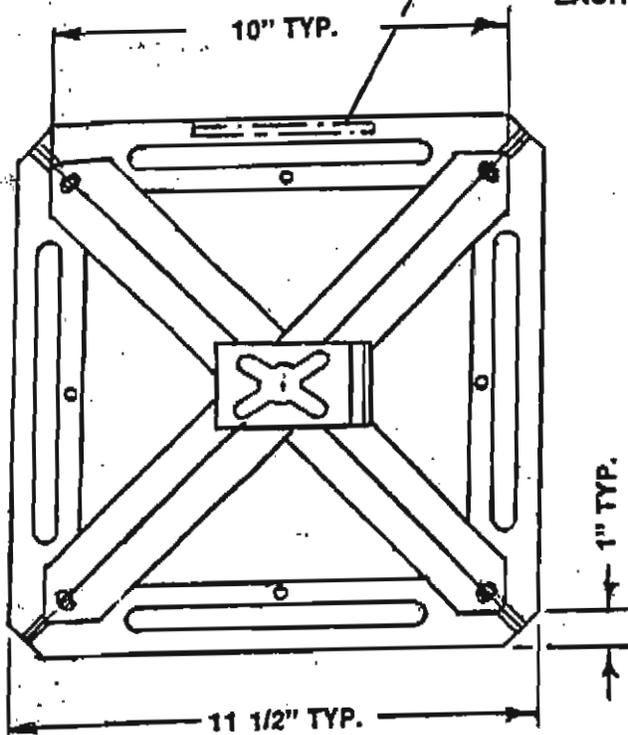
APPROVED
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OCT 13 2015

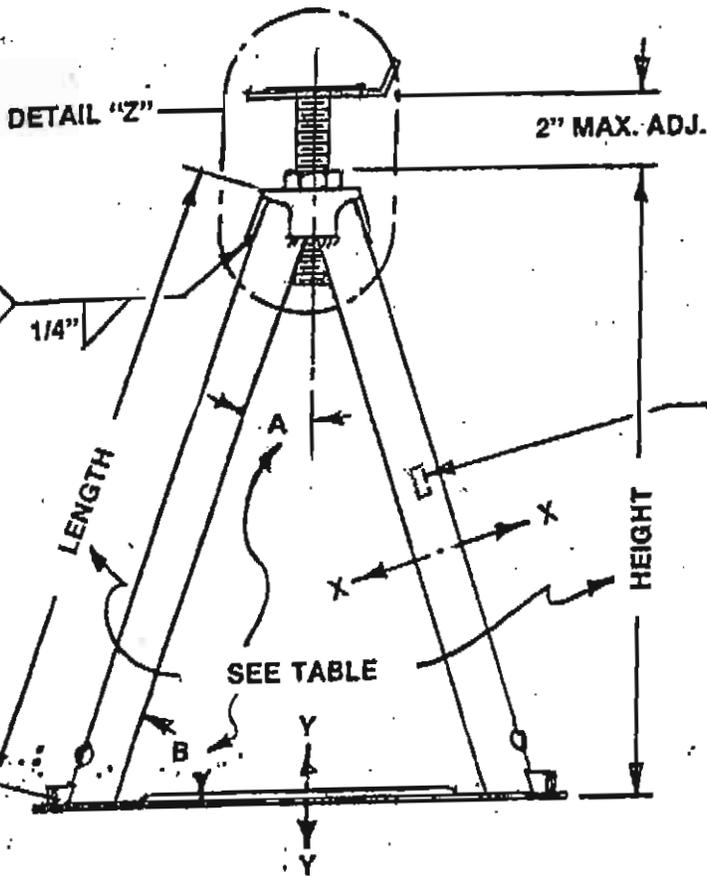
H. Gentry
State of California
Department of Housing and
Community Development
Division of Codes and Standards
OK

TIE DOWN ENGINEERING

MFG. IDENT. STAMPED ON EACH BASE PLATE



PIER DESIG.	LENGTH (IN.)	HEIGHT (IN.)	A	B
MPP8	8	6 1/2	38°-50'	51°-10'
MPP10	10	9 1/4	28°-0'	62°-0'
MPP12	12	11 5/8	22°-15'	67°-45'
MPP14	14	13 7/8	18°-35'	71°-25'
MPP16	16	16 1/16	16°-0'	74°-0'
MPP18	18	18 1/4	14°-4'	75°-56'
MPP20	20	20 5/16	12°-34'	77°-28'
MPP22	22	22 7/16	11°-21'	78°-39'
MPP24	24	24 1/2	10°-22'	79°-38'
MPP26	26	26 9/16	9°-32'	80°-28'
MPP28	28	28 5/8	8°-50'	81°-10'
MPP30	30	30 5/8	8°-14'	81°-46'



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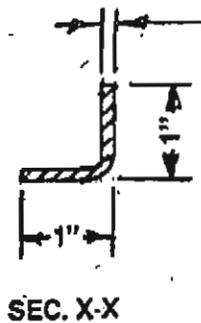
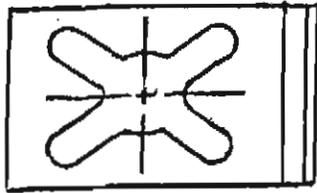
OCT 13 2015

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State of California
Department of Housing and
Community Development
Division of Codes and Standards

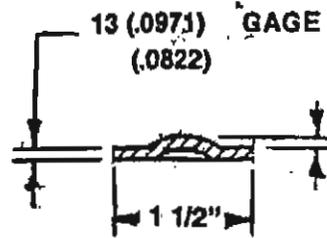
LENGTH STAMPED ON EACH LEG

FOR SEC. X-X, Y-Y, DETAIL "Z"
& MAT'L SPECS. SEE SHEET 4

LTR.	DATE	DESCRIPTION
REVISIONS		
 tie down engineering, inc. 6901 Whitson Drive Atlanta, Georgia 30336		
TITLE POWER PIER MODILE HOME SUPPORT STAND		
DR. BY	R. C. W. 3-25-82	CK. BY. <i>W.C.C.</i> 4-22-82
SCALE	N.T.S.	DR. NO. A-PP318

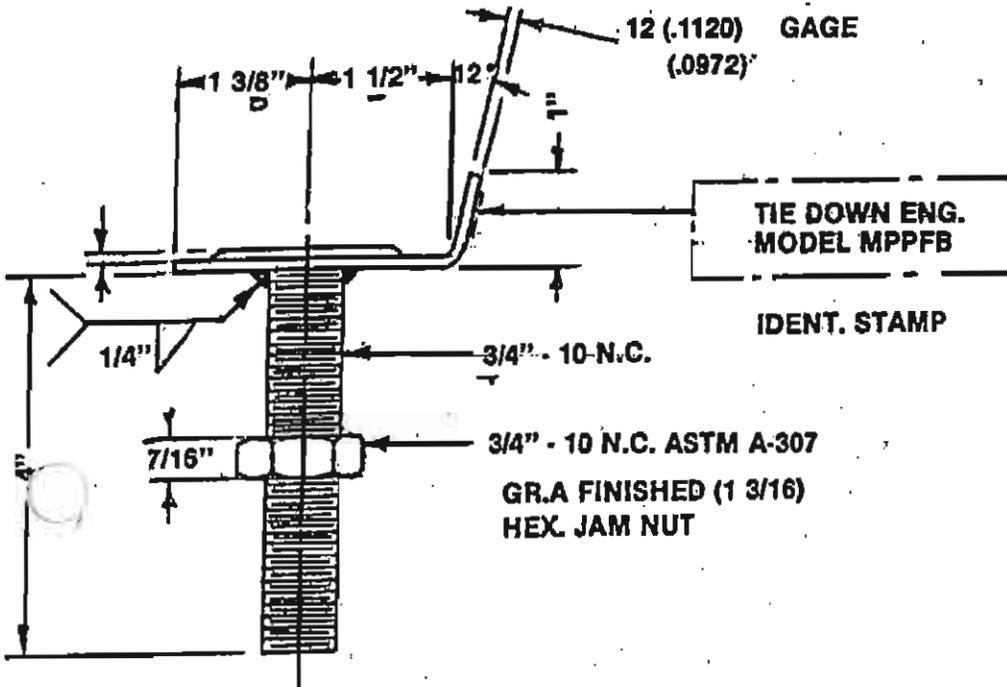


12 (.1120) GAGE
(.0972)



13 (.0971) GAGE
(.0822)

SEC. Y-Y



12 (.1120) GAGE
(.0972)

TIE DOWN ENG.
MODEL MPPFB

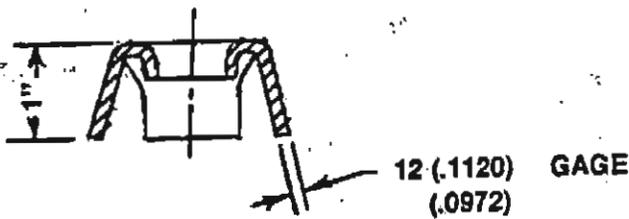
IDENT. STAMP

3/4" - 10 N.C.
3/4" - 10 N.C. ASTM A-307
GR.A FINISHED (1 3/16)
HEX. JAM NUT

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Department of Housing and
Community Development
Division of Codes and Standards



MATERIAL SPECIFICATIONS

WELDS: E 70 XX
STUD: FY = 50 K.S.I.
ANCHORS, PLATES & TUBING:
= 36 K.S.I.

LTR.	DATE	DESCRIPTION
REVISIONS		
 tie down engineering, inc. <small>8901 Wharton Drive Atlanta, Georgia 30336</small>		
TIE DOWN POWER PIER MOBILE HOME SUPPORT STAND		
DR. BY	R. C. W. 3-25-'82	CK. BY W-G.C. 4-22-'82
SCALE	N.T.S.	DR. NO A-PP318

POWER PIER

Independent Testing Results

Model No.	6250 pounds adjuster down	6250 pounds adjuster 2" up	6250 pounds at leg angle	Ultimate load in vertical compression	Test Date
MPP4	X	X	X	14,700 lbs.	5-22-81
MPP6	X	X	X	18,500 lbs.	5-22-81
MPP8	X	X	X	28,900 lbs.	5-22-81
MPP10	X	X	X	18,266 lbs. (avg.)	4-25-80
MPP12	X	X	X	26,266 lbs. (avg.)	4-25-80
MPP14	X	X	X	22,000 lbs. (avg.)	4-25-80
MPP16	X	X	X	26,550 lbs. (avg.)	4-25-80
MPP18	X	X	X	24,366 lbs. (avg.)	4-25-80
MPP20	X	X	X	18,183 lbs. (avg.)	4-25-80
MPP22	X	X	X	14,783 lbs. (avg.)	4-25-80
MPP24	X	X	X	13,550 lbs.	5-22-81
MPP26	X	X	X	14,200 lbs.	5-22-81
MPP28	X	X	X	10,850 lbs.	5-22-81
MPP30	X	X	X	10,700 lbs.	5-22-81

NOTE: All above tests were conducted by Pittsburgh Testing Laboratories. The individual results of these tests will be made available on request. Please forward your request for this information to:

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TIE DOWN ENGINEERING, INC.
5901 Wheaton Drive
Atlanta, Georgia 30336

OCT 13 2015

H. G. Gentry
State of California
Department of Housing and
Community Development
Division of Codes and Standards

REVISIONS	DATE	BY

DATE (OWN) AND EAST
 CHANGING LIT. 2015
 (OWN) DTI - 2015
 BACK (AND DTI - 2015)

2180 BARRETT AVE
 BERKELEY, CALIFORNIA 94704
 (925) 840-2920
 FAX: (925) 840-0133

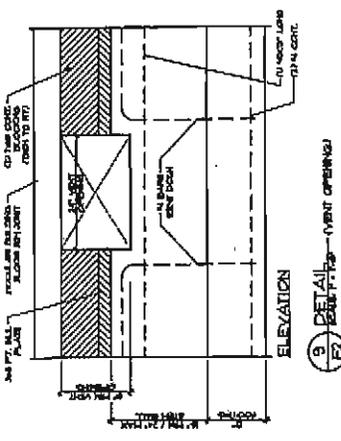
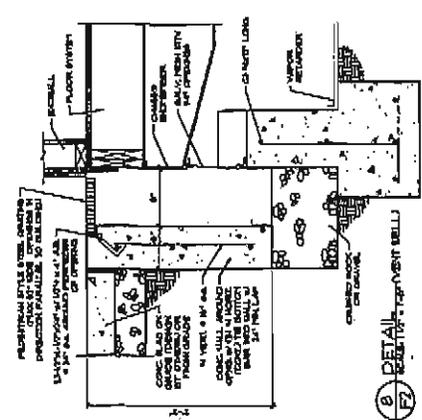
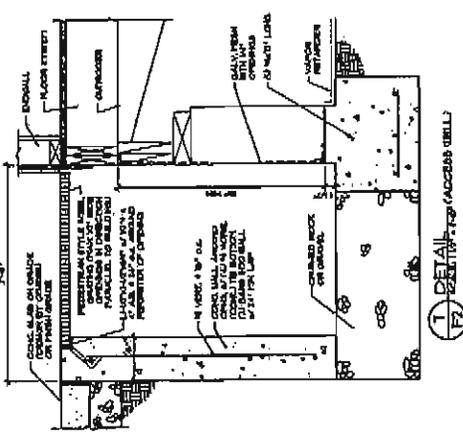
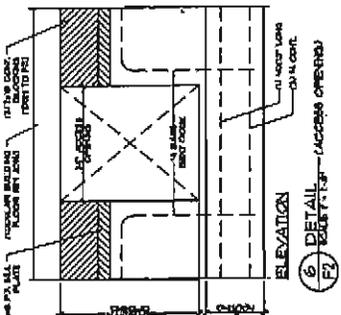
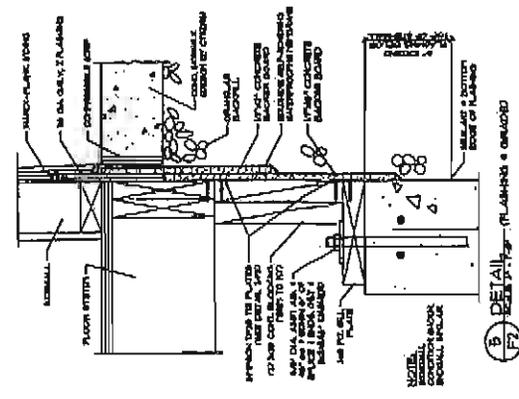
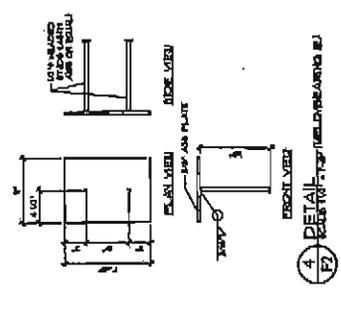
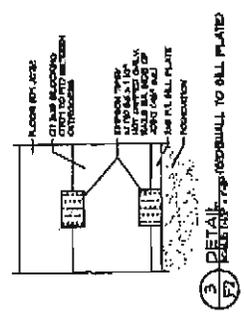
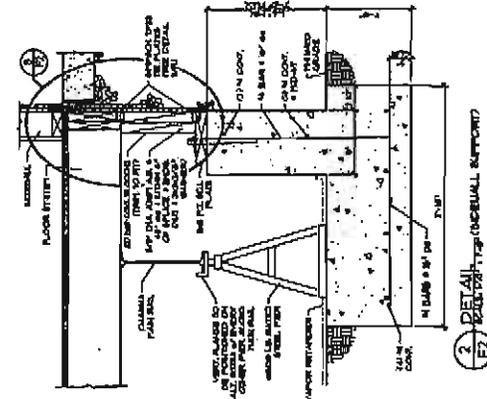
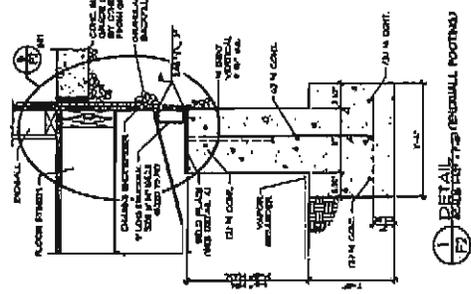


FOUNDATION DESIGN
 2744 KAYWOOD ROAD ASSOCIATES, INC.
 160 AVENUE OF THE PLAGES
 BELLTON, CALIFORNIA 94021

TEL 313 303 0874

NO.	DATE

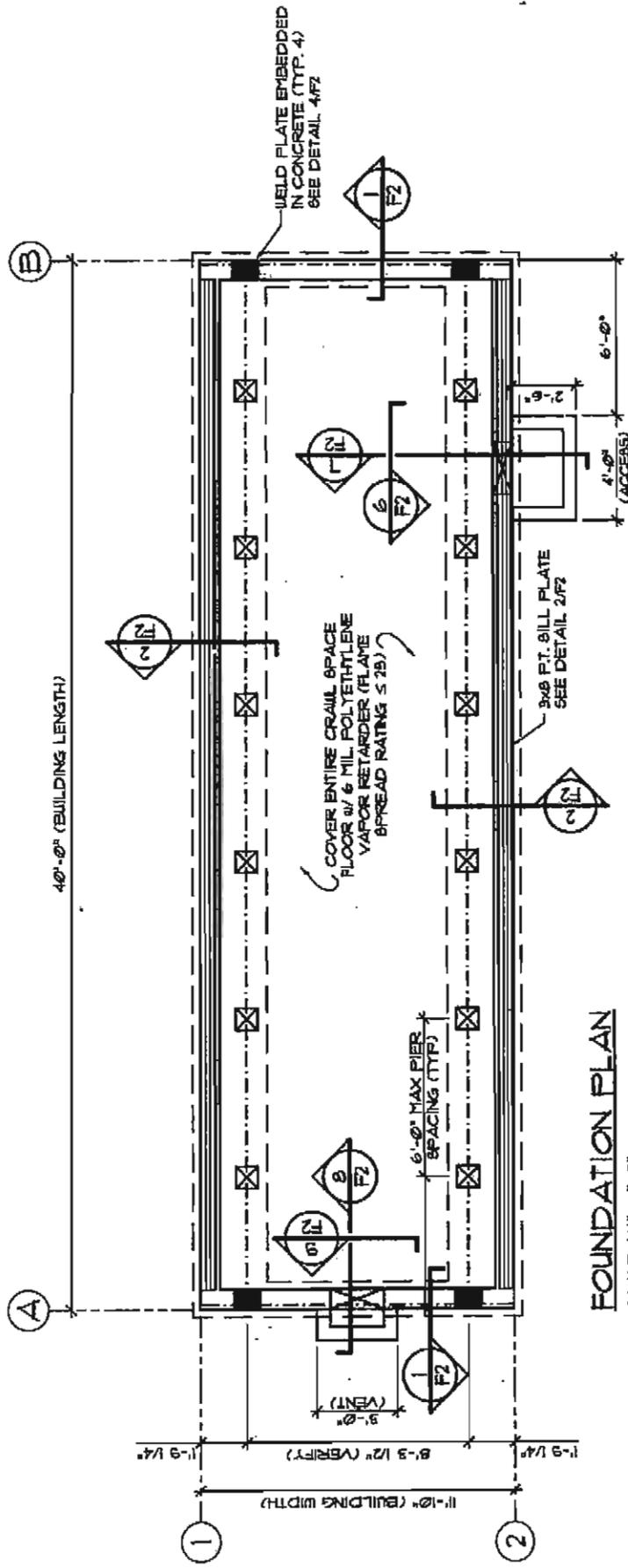
F2
 2 SHEETS



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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
- 1) ALL DIMENSIONS MUST BE VERIFIED w/ ACTUAL MODULAR BUILDING DIMENSIONS BEFORE PLACING CONCRETE.
 - 2) VENT AND ACCESS OPENINGS MAY BE RELOCATED TO AVOID CONFLICTS w/ DOORS, SIDEWALKS, UTILITIES, ETC. OPENINGS MUST BE LOCATED ON SIDEWALK.

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OCT 13 2015

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State of California
Department of Housing and
Community Development
Division of Codes and Standards

Coast-Valley Testing, Inc.

360 South Fairview Avenue, Suite A

Goleta, California 93117

Goleta Office (805) 964-3509

Los Olivos Office (805) 688-3577

FIELD REPORT

TO: FLYING FLAGS KV

SUBJECT: MODULAR REINFORCEMENT DATE

ADDRESS: _____

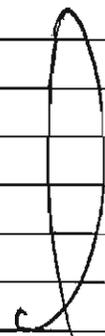
(BOARD OF FLAGS)

CITY: of BELLTOL

BELLTOL

INSPECTED WALKWAY FORMWORK/REINFORCEMENT
THE FOLLOWING WAS NOTED

- ① INSIDE CURB FOOTING 12"X12" - 1-#4 TOP
- ② CONCRETE SLAB - #30X#4 REBAR AT 24" OC E-WAY. (MOSTLY #4)



Coast-Valley Testing, Inc.

360 South Fabrice Avenue, Suite A

Goleta, California 93117

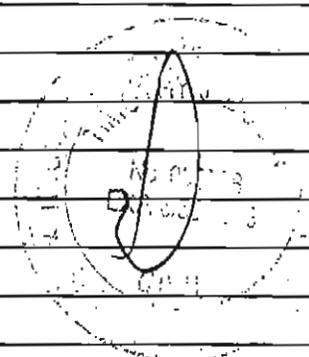
Goleta Office (805) 964-3509

Los Olivos Office (805) 688-3577

FIELD REPORT

TO: FLYING FLAGS SUBJECT: MODULAR RESTROOM BLDGS DATE: 10-14-15
 ADDRESS: _____
 CITY: OT BUENA VISTA 180 AVE. OF FLAGS
BUENA VISTA

- ① compacted OT Footing Bottom ^{90%} OK
- ② Footing with PM RUBBER PER PLAN BY SILVER CREEK / DCUMENI BULK
- ③ will check for mwork and TEMPLATES (ADND WORK) 10-15-15 AM



Coast-Valley Testing, Inc.

360 South Fairview Avenue, Suite A

Goleta, California 93117

Goleta Office (805) 964-3509

Los Olivos Office (805) 688-3577

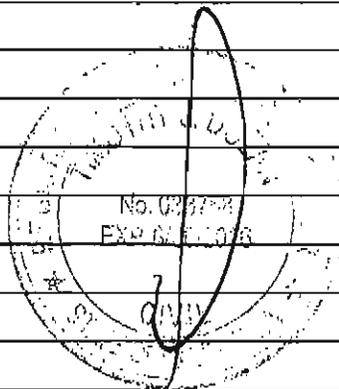
FIELD REPORT

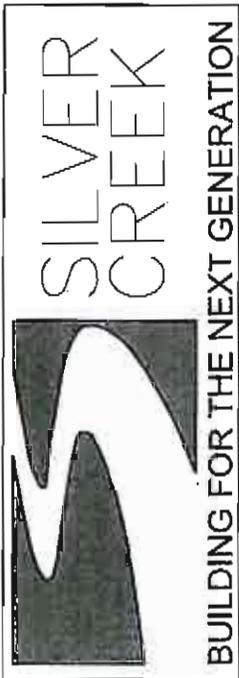
TO: FLY INLS FLAS SUBJECT: MOULDER DATE: 10-15-11
ADDRESS: _____
CITY: ST BELLITA RESTROOM BLDG
120 DUE OFFPLDGS
BELLITA

① REMOVAL OF FORMWORK SET (STEEL FORMWORK)

② HARDWARE (4 STEEL PLATES) FOR PLW

OK TO PAVE CONCRETE





SHEET INDEX	
COVER PAGE	
SHEET NO: A1	FLOOR PLAN
CONSTRUCTION NOTES	
GENERAL NOTES	
FINISH SCHEDULE	
DOOR SCHEDULE	
WINDOW SCHEDULE	
STATE APPROVAL	
SHEET NO: A2	REFLECTED CEILING PLAN
REFLECTED CEILING DETAILS	
SHEET NO: A3	EXTERIOR ELEVATIONS
EXTERIOR PAINT SCHEDULE	
SHEET NO: E1	ELECTRICAL PLAN
ELECTRICAL SCHEDULE	
ELECTRICAL PANELS	
SHEET NO: M1	MECHANICAL SCHEDULES
MECHANICAL PLAN	
SHEET NO: P1	PLUMBING PLAN
PLUMBING SCHEDULE	
PLUMBING SCHEMATIC	
PLUMBING DETAILS	
SHEET NO: WS	WALLSET PLAN
SHEET NO: S1	FLOOR/ROOF FRAMING AND DETAILS

FPA FLYING FLAGS ASSOCIATES L.P

180 AVE OF THE FLAGS
 BUELLTON, CA 93427
 PHONE: 206-851-6188 / 916-204-4434

JOB #: 30459
 SERIAL # SCI-00814
 BUILDING SIZE: 12X40

DRAWINGS PREPARED FOR:

PROJECT NAME	12X40 PLAYING FLAGS RV PARK
PROJECT NO.	30459
DATE	
DESIGNED BY	
CHECKED BY	
DATE	
PROJECT LOCATION	12X40 PLAYING FLAGS RV PARK
COVER PAGE	

SILVER CREEK
 2401 BARRETT AVE
 FRESNO, CA 93701
 PHONE: 559-435-1100
 FAX: 559-435-1102

GENERAL NOTES	BUILDING DATA	WIND DESIGN DATA	EARTHQUAKE DESIGN DATA
1. THESE DRAWINGS ARE PREPARED FOR THE DESIGN OF THE BUILDING. THE OWNER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.	NUMBER OF STORIES: 1 FLOOR FINISH: 5'-0" CEILING FINISH: 8'-0" FLOOR FINISH: 5'-0" CEILING FINISH: 8'-0" FLOOR FINISH: 5'-0" CEILING FINISH: 8'-0" FLOOR FINISH: 5'-0" CEILING FINISH: 8'-0" FLOOR FINISH: 5'-0" CEILING FINISH: 8'-0"	1. WIND SPEED: 115 MPH 2. WIND DIRECTION: 0° 3. WIND EXPOSURE: B 4. WIND CATEGORY: II 5. WIND DESIGN SPEED: 115 MPH 6. WIND DESIGN PRESSURE: 11.5 psf 7. WIND DESIGN SUCTION: -11.5 psf	1. SEISMIC DESIGN CATEGORY: B 2. SEISMIC DESIGN SPECTRAL ACCELERATION: 0.15 3. SEISMIC DESIGN PERIOD: 0.35 sec 4. SEISMIC DESIGN FORCE: 0.15 5. SEISMIC DESIGN MOMENT: 0.15 6. SEISMIC DESIGN SHEAR: 0.15 7. SEISMIC DESIGN TORSION: 0.15
2. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.	TYPE OF CONSTRUCTION: 1 FLOOR AREA: 1200 SF CEILING AREA: 1200 SF WALL AREA: 1200 SF ROOF AREA: 1200 SF TOTAL AREA: 4800 SF	1. WIND SPEED: 115 MPH 2. WIND DIRECTION: 0° 3. WIND EXPOSURE: B 4. WIND CATEGORY: II 5. WIND DESIGN SPEED: 115 MPH 6. WIND DESIGN PRESSURE: 11.5 psf 7. WIND DESIGN SUCTION: -11.5 psf	1. SEISMIC DESIGN CATEGORY: B 2. SEISMIC DESIGN SPECTRAL ACCELERATION: 0.15 3. SEISMIC DESIGN PERIOD: 0.35 sec 4. SEISMIC DESIGN FORCE: 0.15 5. SEISMIC DESIGN MOMENT: 0.15 6. SEISMIC DESIGN SHEAR: 0.15 7. SEISMIC DESIGN TORSION: 0.15
3. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.	TYPE OF CONSTRUCTION: 1 FLOOR AREA: 1200 SF CEILING AREA: 1200 SF WALL AREA: 1200 SF ROOF AREA: 1200 SF TOTAL AREA: 4800 SF	1. WIND SPEED: 115 MPH 2. WIND DIRECTION: 0° 3. WIND EXPOSURE: B 4. WIND CATEGORY: II 5. WIND DESIGN SPEED: 115 MPH 6. WIND DESIGN PRESSURE: 11.5 psf 7. WIND DESIGN SUCTION: -11.5 psf	1. SEISMIC DESIGN CATEGORY: B 2. SEISMIC DESIGN SPECTRAL ACCELERATION: 0.15 3. SEISMIC DESIGN PERIOD: 0.35 sec 4. SEISMIC DESIGN FORCE: 0.15 5. SEISMIC DESIGN MOMENT: 0.15 6. SEISMIC DESIGN SHEAR: 0.15 7. SEISMIC DESIGN TORSION: 0.15

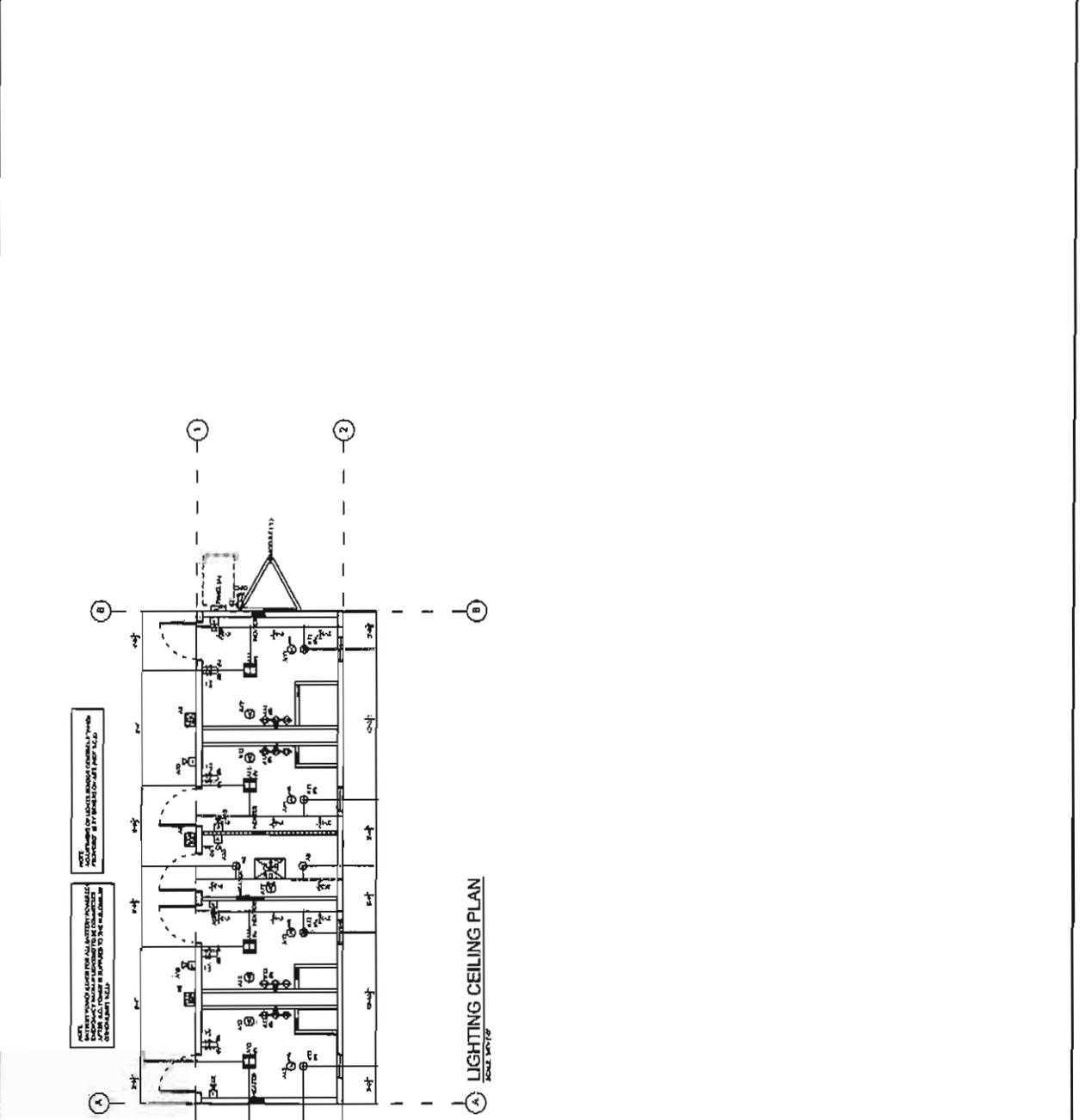
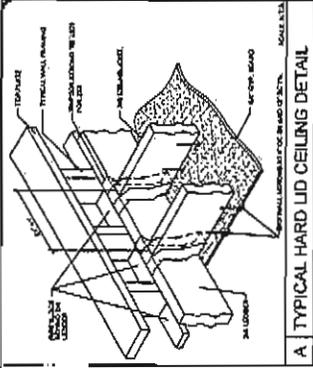
SHEET NO. CP

PRELIMINARY PLANS NOT FOR CONSTRUCTION 09-JULY-2015

NOT FOR CONSTRUCTION
 THESE PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. ANY CHANGES TO THE PLANS MUST BE APPROVED BY THE ARCHITECT. THE ARCHITECT'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE PLANS. THE ARCHITECT'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE PLANS. THE ARCHITECT'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE PLANS.

SILVER CREEK
 ARCHITECTS
 2638 BARRETT AVE
 PHOENIX, AZ 85016
 PH: 602-434-5800
 FAX: 602-434-5822

PROJECT NAME: 12X40 FLYING FLAGS RV PARK RESTROOM & SHOWER BUILDING
 REFLECTED CEILING PLAN & SCHEDULES
 SHEET NO. A2

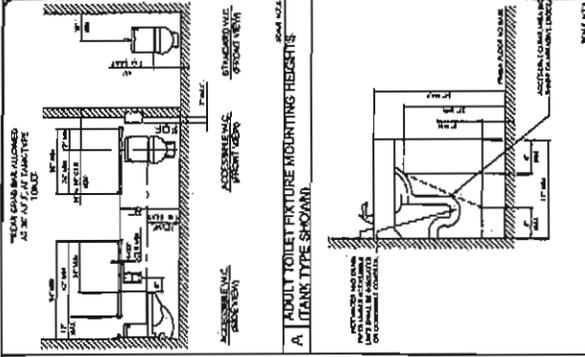


PROJECT NAME: 12X40 FLYING FLAGS RV PARK RESTROOM & SHOWER BUILDING
DATE: 07/07/15
SCALE: AS SHOWN
PLUMBING PLAN & SCHEDULES

CLIENT: SILVER CREEK
 3400 BARRETT AVE
 PHOENIX, AZ 85032
 PH: 602.498.8272

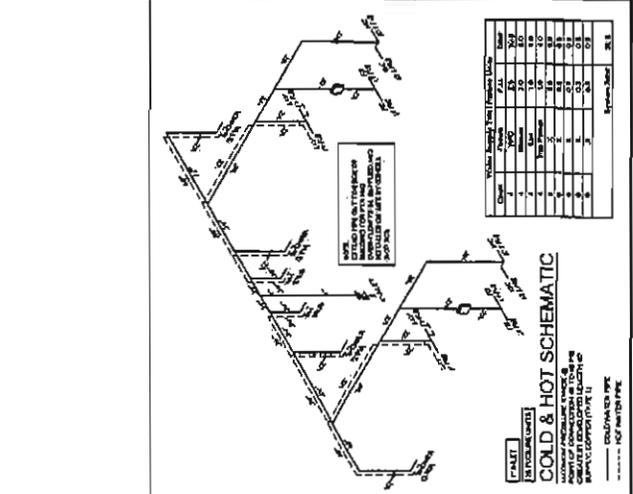
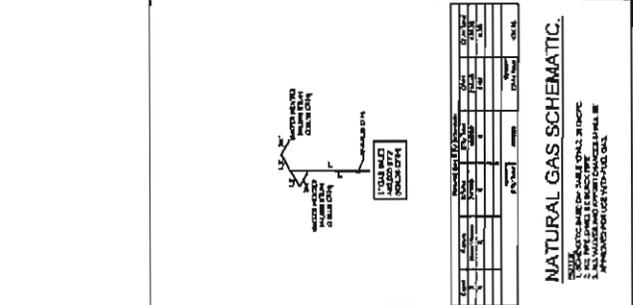
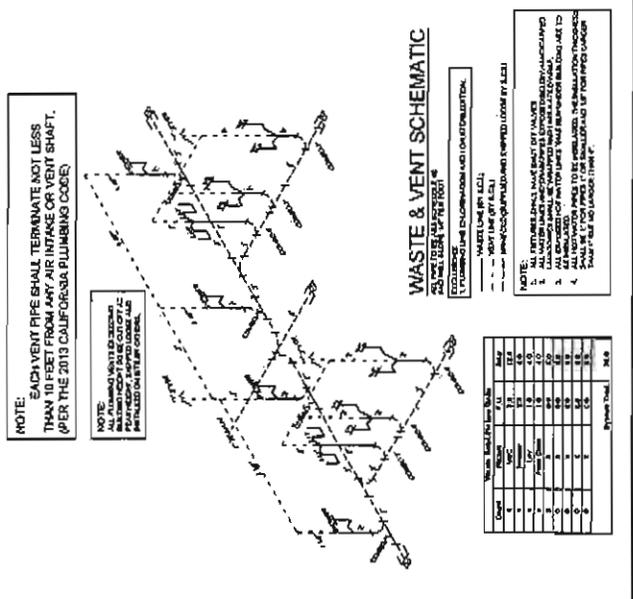
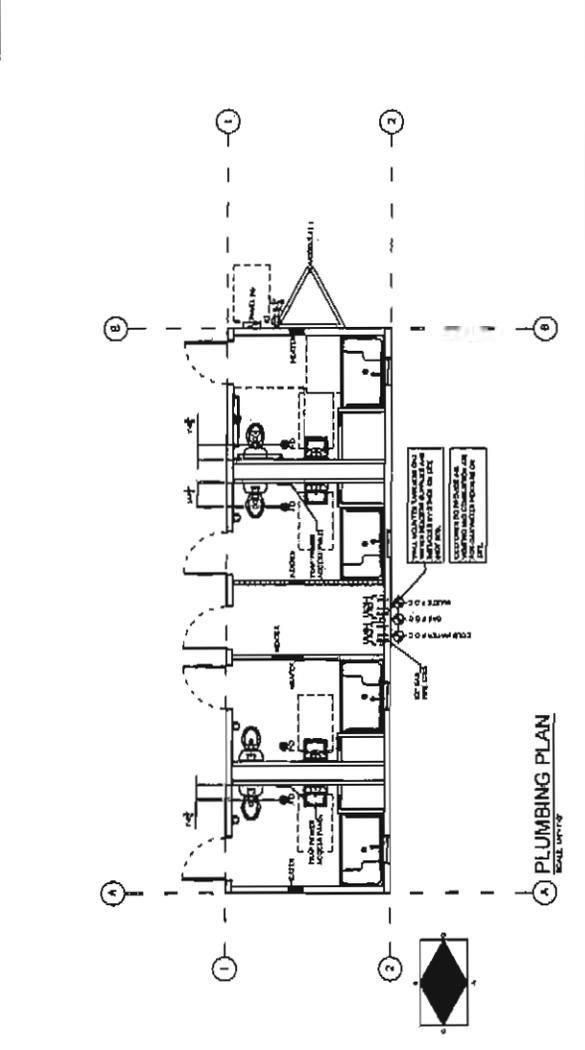
DESIGNER: [Logo]
 12345 MAIN ST
 PHOENIX, AZ 85001
 PH: 602.555.1234

PROJECT NO.: 30459
SHEET NO.: P1



PLUMBING SCHEDULE

SYMBOL	DESCRIPTION	NOTE
1	1/2" CPVC DWV	
2	1/2" CPVC DWV	
3	1/2" CPVC DWV	
4	1/2" CPVC DWV	
5	1/2" CPVC DWV	
6	1/2" CPVC DWV	
7	1/2" CPVC DWV	
8	1/2" CPVC DWV	
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97	1/2" CPVC DWV	
98	1/2" CPVC DWV	
99	1/2" CPVC DWV	
100	1/2" CPVC DWV	



SILVER CREEK
 2020 BARRETT AVE
 PERRIS, CA 92571
 (951) 221-8800
 FAX: (951) 221-8822

PROJECT NAME:
 12X40 FLYING FLAGS RV PARK
SHEET NO.:
 MECHANICAL PLAN & SCHEDULES

DATE:
 07/09/15

SCALE:
 AS SHOWN

REVISIONS:

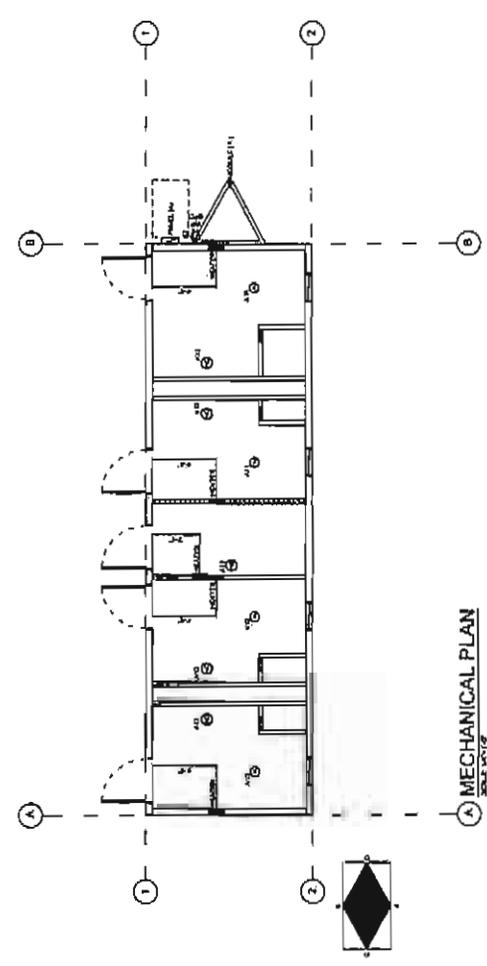
NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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PROJECT NO.: 304159
DATE: 07/09/15
DESIGNER: [Signature]
CHECKER: [Signature]
DATE: 07/09/15
PROJECT NO.: 304159
DATE: 07/09/15
DESIGNER: [Signature]
CHECKER: [Signature]

SHEET NO.: M1

SYMBOL	DESCRIPTION
[Symbol]	MECHANICAL SCHEDULE
[Symbol]	MECHANICAL SCHEDULE
[Symbol]	MECHANICAL SCHEDULE



HVAC SYSTEM GENERAL NOTES

1. ALL SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES.

2. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES.

3. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES. THE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE DESIGN ROOM TEMPERATURES AND HUMIDITIES AS SHOWN ON THE MECHANICAL SCHEDULES.

MECHANICAL SCHEDULE

NO.	DESCRIPTION
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7	
8	
9	
10	

FOR INSPECTION PLEASE CALL
KEN PERGESON
 805-746-7557

State of California
 Business, Consumer Services and Housing Agency
 Department of Housing and Community Development
 Division of Codes and Standards
 Mobilehome and Special Occupancy Parks Programs



APPLICATION FOR PERMIT TO CONSTRUCT

(REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

REQUIRED FOR COMMERCIAL MOBILEHOMES OR RECREATION VEHICLES
 I, the undersigned, hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
 I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).:

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.;

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.;

I am exempt under Sec. _____ B. & P.C. for this reason:
 _____ Date _____

3. WORKERS' COMPENSATION DECLARATION
 I hereby affirm under penalty of perjury one of the following conditions:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
 Carrier _____
 Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
 Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY
 I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____
 Lender's Address _____

5. CERTIFICATION
 I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

[Signature] _____ Date 4/6/16
 of Applicant or Agent

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort

Park Address 180 Avenue of Flags

City Buellton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated X

Park Owner FPA Flying Flags Associates L

APPLICANT Ronald Biddlecome

CONTRACTOR OWNER Other AGENT

Address Same

Tel. No. (805) 360-6990

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Instal (14) Mini AIR Splits
for sites
51, 52, 53, 34, 35, 56, 57, 58, 59

C101, C102, C103, C104, C105
Model # AOU18RLXFW

Valuation \$ 28,000

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Corport Porch Cabana

Other (specify) _____

OWNER _____ Tel. No. _____

Address _____

RESIDENT _____ Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/ Model Name _____

Insignia/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: *[Signature]* _____ Date 4/6/16
 (Signature Required)

DEPARTMENT USE ONLY

ID. No. 44-0116-11

MP AS MH

Closed By [Signature]

Date Closed 6-22-16

COLLECTION INFORMATION

Collection # 1320574

Fee Rec'd \$196-

Collection Date 7/1/16

Assigned To [Signature]

Routed By [Signature]

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 1320574

MH ACC/S _____

MP \$196-

BLDG _____

MHI _____

MISC. _____

TECH SER. _____

PLCK _____

S.M.I. _____

ISSUE \$196-

TOTAL \$196-

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

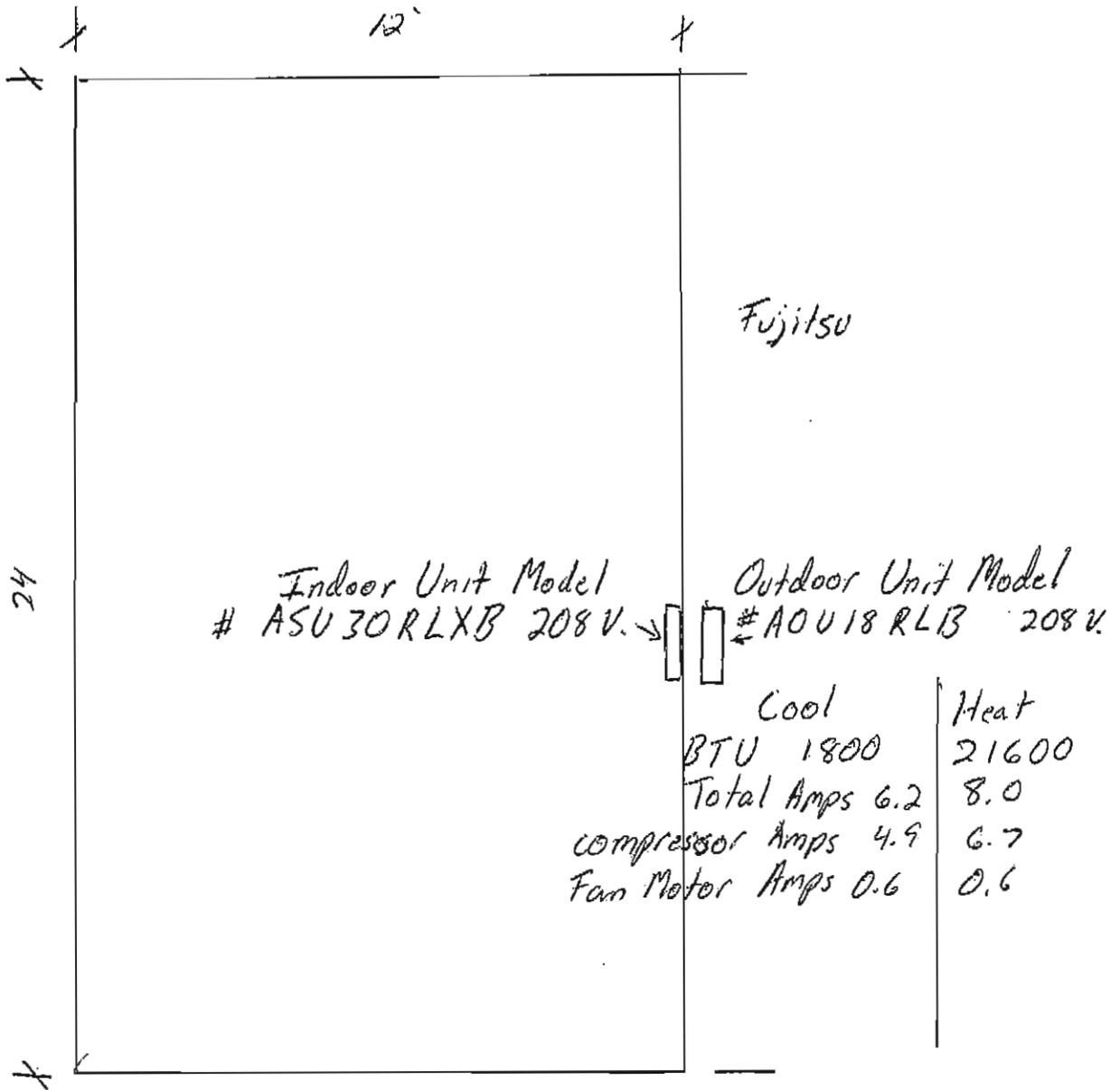
Date 4/1/16

Issued By [Signature]

Expires 4/1/16

[Handwritten notes and signatures]

Mini Split A/C Specs and Location



APPROVED
Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.

APR 11 2016

H. Geny
State of California
Department of Housing and
Community Development
Division of Codes and Standards

MAP LEGEND

- Zaco Tent Site
- Safari Tent Site
- Tent Site
- Buddy Sites
- Trash Station
- Water
- Super Premium Site
- Premium Plus Site
- Premium Site
- Deluxe Site
- Rental Cottages & Airstreams

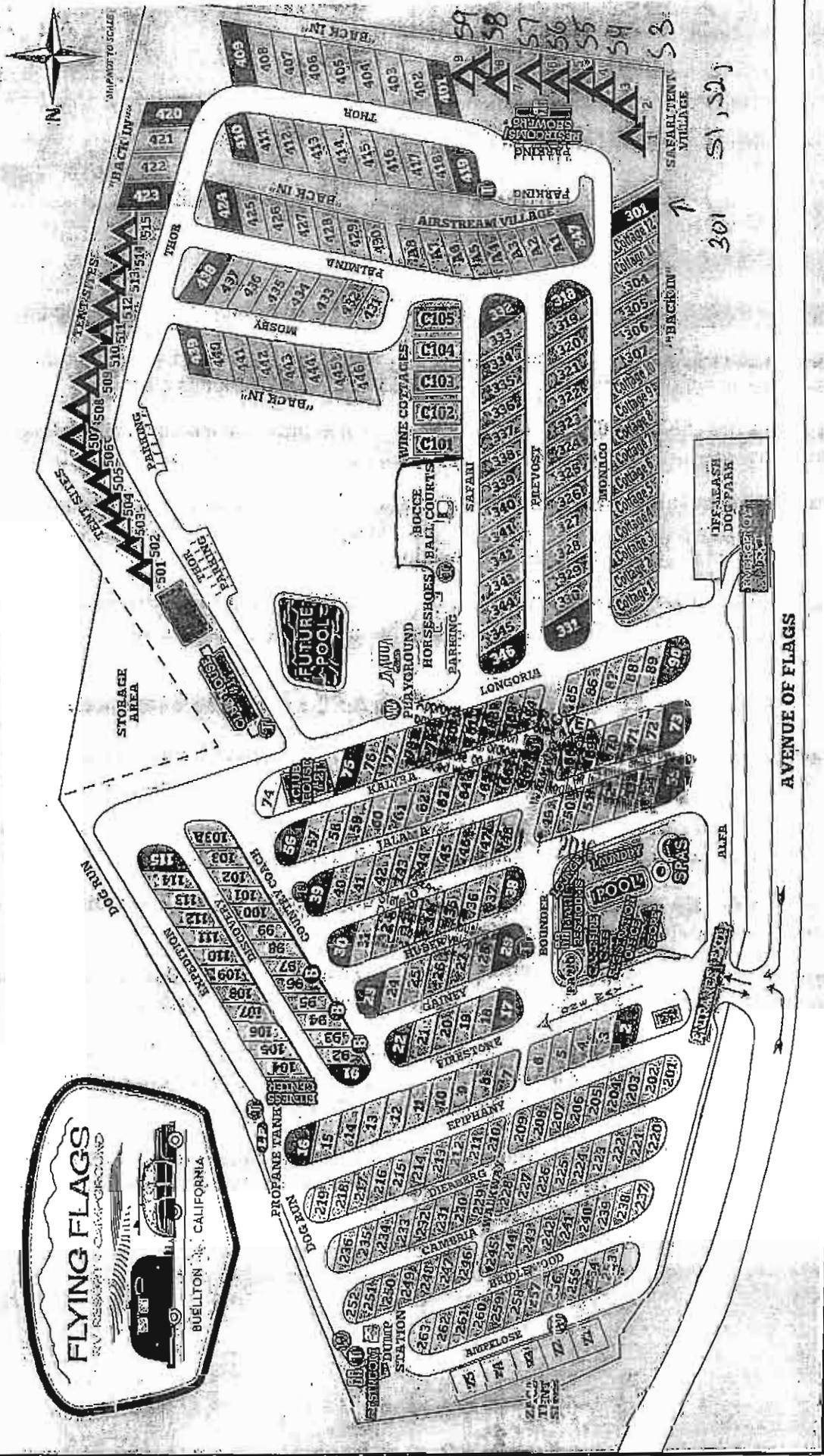


YOUR SITE

CLEANING SCHEDULE

We work hard all day to keep our facilities clean.
 The facilities will be closed at these times for "Super Cleaning":

Main Restrooms: 3:00 PM - 4:00 PM
 North Restrooms: 9:00 AM - 10:00 AM
 South Restrooms: 10:30 AM - 11:30 AM
 Laundromat: 8:00 AM - 9:00 AM



FOR INSPECTION PLEASE CALL
KEN PERGESON
 805-746-7557

State of California
 Business, Consumer Services and Housing Agency
 Department of Housing and Community Development
 Division of Codes and Standards
 Mobilehome and Special Occupancy Parks Programs



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
 (Used for commercial modulars or Recreational Vehicles)

LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
 I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.
 I am exempt under Sec. _____ B. & P.C. for this reason: _____

Owner _____ Date _____

3. WORKERS' COMPENSATION DECLARATION
 I hereby affirm under penalty of perjury one of the following conditions:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____ (This section need not be completed if the permit is for one hundred dollars (\$100) or less).
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
 Applicant _____ Date _____

4. CONSTRUCTION LENDING AGENCY
 I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
 Lender's Name _____
 Lender's Address _____

5. CERTIFICATION
 I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.
 Signer _____ Date _____
 (Signature Required)

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort
 Park Address 180 Ave of the Flags
 City Buellton County Santa Barbara
 Zip 93427 Unincorporated _____ Incorporated
 Park Owner FPA Flying Flags LLC
 APPLICANT Ron Biddlecome
 CONTRACTOR OWNER Other AGENT
 Address _____ Tel. No. _____
 Architect/Engineer _____ Lic. No. _____
 Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Installing Propane BBQ Grill
w/ wash area & outlet
sites A1, A2, A3, A4, A5, A6, A7, A8
rent sites
S1, S2, S3, S4, S5, S6, S7, S8, S9
Site 301
 Valuation \$ 10,000

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____
 Awning Carport Porch Cabana
 Other (specify) _____
 OWNER _____ Tel. No. _____
 Address _____
 RESIDENT _____ Tel. No. _____
 Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____
 Address _____
 Resident _____ Lot No. _____
 Serial Number(s) _____
 Date of MFG. _____ Manufacturer Name/ Model Name _____
 Insignia/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____
 (Signature Required) _____ Date _____

DEPARTMENT USE ONLY

ID. No. 42-0118 MP
 MP AS MHI
 Closed By [Signature]
 Date Closed 6-15-16
COLLECTION INFORMATION
 Collection # 8702853
 Fee Rec'd \$500.25
 Collection Date 11/16/15
 Assigned To Pergeson
 Routed By [Signature]

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8702853
 MH ACC/S _____
 MP
 BLDG _____
 MHI _____
 MISC. \$503.75
 TECH SER. _____
 PLCK \$503.75
 S.M.I. _____
 ISSUE _____
 TOTAL \$1506.25

DIVISION PROCESS RECORD

Application _____
 Local Planning _____
 Local Fire _____
 Local Health _____
 Public Works _____
 Environmental Impact _____
 Negative Declaration _____
 School Impact Fees _____
 Date 4/4/16
 Issued By [Signature]
 Expires 10/4/16



APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS

* * * required for commercial modulars or Recreational Vehicles

UNLICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).:

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

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I am exempt under Sec. _____, B. & P.C. for this reason:

Owner _____ Date _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following conditions:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
 Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

5. CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

 Signature of Applicant or Agent _____ Date _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags Bk Resort

Park Address 180 Ave of the Flags

City Buellton County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated X

Park Owner EPA Flying Flags LLC

APPLICANT Ron Biddlecome

CONTRACTOR OWNER Other Agent

Address _____

Tel. No. _____

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Installing Propane BBQ Grills

w/ wash area & outlet

sites A1, A2, A3, A4, A5, A6, A7, A8

rent sites

S1, S2, S3, S4, S5, S6, S7, S8, S9

Site

301

Valuation \$ 10,000

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER _____ Tel. No. _____

Address _____

RESIDENT _____ Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/Model Name _____

Insignia/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____

 (Signature Required) _____ Date _____

DEPARTMENT USE ONLY

ID. No. 42-0118-MP

MP AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8702853

Fee Rec'd \$500.25

Collection Date 11-6-15

Assigned To Perceban

Routed By A. Over

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

PERMIT # 8702853

MH ACC/S' _____

MP #

BLDG _____

MHI _____

MISC. \$303.25

TECH SER. _____

PLC'K \$203.25

S.M.I. _____

ISSUE _____

TOTAL \$506.25

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

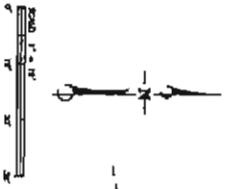
Negative Declaration _____

School Impact Fees _____

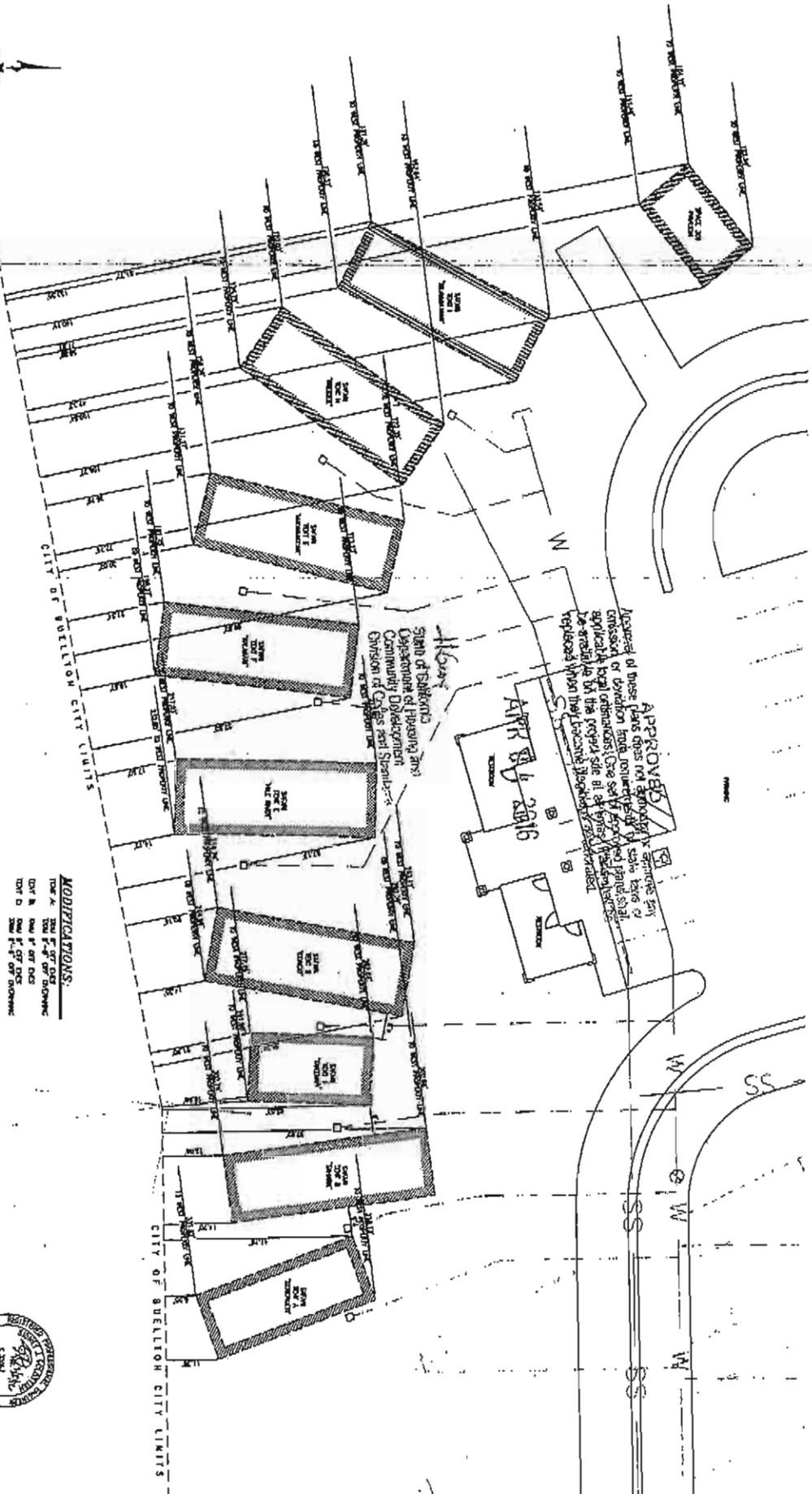
Date 1/4/16

Issued By [Signature]

Expires 10/1/16



NOTE:
 SHADING INDICATES AREAS FOR WHICH
 DATA PROVIDED BY THATCHER ENGINEERS, INC.



MODIFICATIONS:
 DATE X: 2016
 DATE Y: 2016
 DATE Z: 2016
 DATE W: 2016
 DATE V: 2016
 DATE U: 2016
 DATE T: 2016
 DATE S: 2016
 DATE R: 2016
 DATE Q: 2016
 DATE P: 2016
 DATE O: 2016
 DATE N: 2016
 DATE M: 2016
 DATE L: 2016
 DATE K: 2016
 DATE J: 2016
 DATE I: 2016
 DATE H: 2016
 DATE G: 2016
 DATE F: 2016
 DATE E: 2016
 DATE D: 2016
 DATE C: 2016
 DATE B: 2016
 DATE A: 2016

**MODIFICATIONS TO
 SAFARI TENTS AT
 FLYING FLAGS RV RESORT**

PREPARED BY: THATCHER ENGINEERS, INC.
 2000 W. 1000 N. SUITE 100
 BOULDER, CO 80501
 (303) 440-1234
 www.thatchereng.com



MARCH 4, 2016

LOT PLOT PLAN AND PARK INFORMATION

A) Park Name: Flying Flags RV Resort
 Homeowner Name: BOB & BEA FLAUG
 Homeowner Address: 180 NW 40th Ave, Spc 8
 City: Duval ZIP: 92301

B) Design Information:
 Home Amperage: _____ Federal Amperage: 80
 Home Voltage: _____ Federal Voltage: _____
 Home Roof Load: _____ PSF
 Roof Load for locality: _____ PSF

C) Is the park located in a snow area requiring 30 lb or greater roof loading?
 YES NO

D) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner:
316' lot line

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

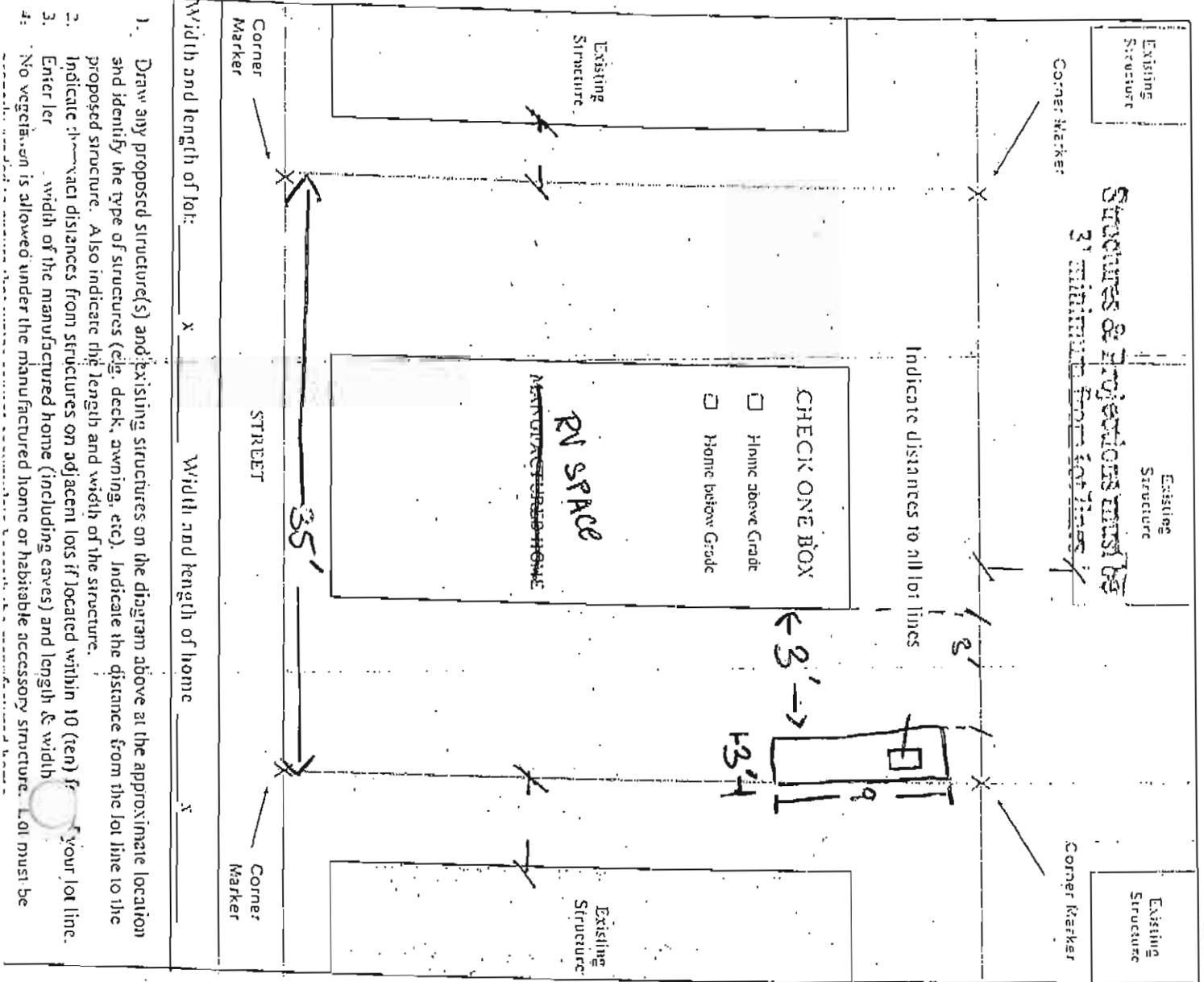
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
 State of California

Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 South Area Office
 375 River Street, Suite 400
 Sacramento, CA 95811



- Width and length of lot: x x
- Width and length of home: x x
1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
 2. Indicate the exact distances from structures on adjacent lots if located within 10 feet from your lot line.
 3. Enter the width of the manufactured home (including eaves) and length & width.
 4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

LOT, PLOT, LEAN AND PARK INFORMATION

A) Park Name: Flying Flags RV Resort
 Homeowner Name: 180 AVE OF THE FLAGS SQ
 City: Ruellton ZIP: 93427

B) Design Information:
 Home Amperage: _____ Federal Amperage: _____
 Home Voltage: _____ Federal Voltage: _____
 Home Roof Load: _____ PSF
 Roof Load for locality: _____ PSF

C) Is the park located in a snow area requiring 30 lb or greater roof loading?
 YES NO

D) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

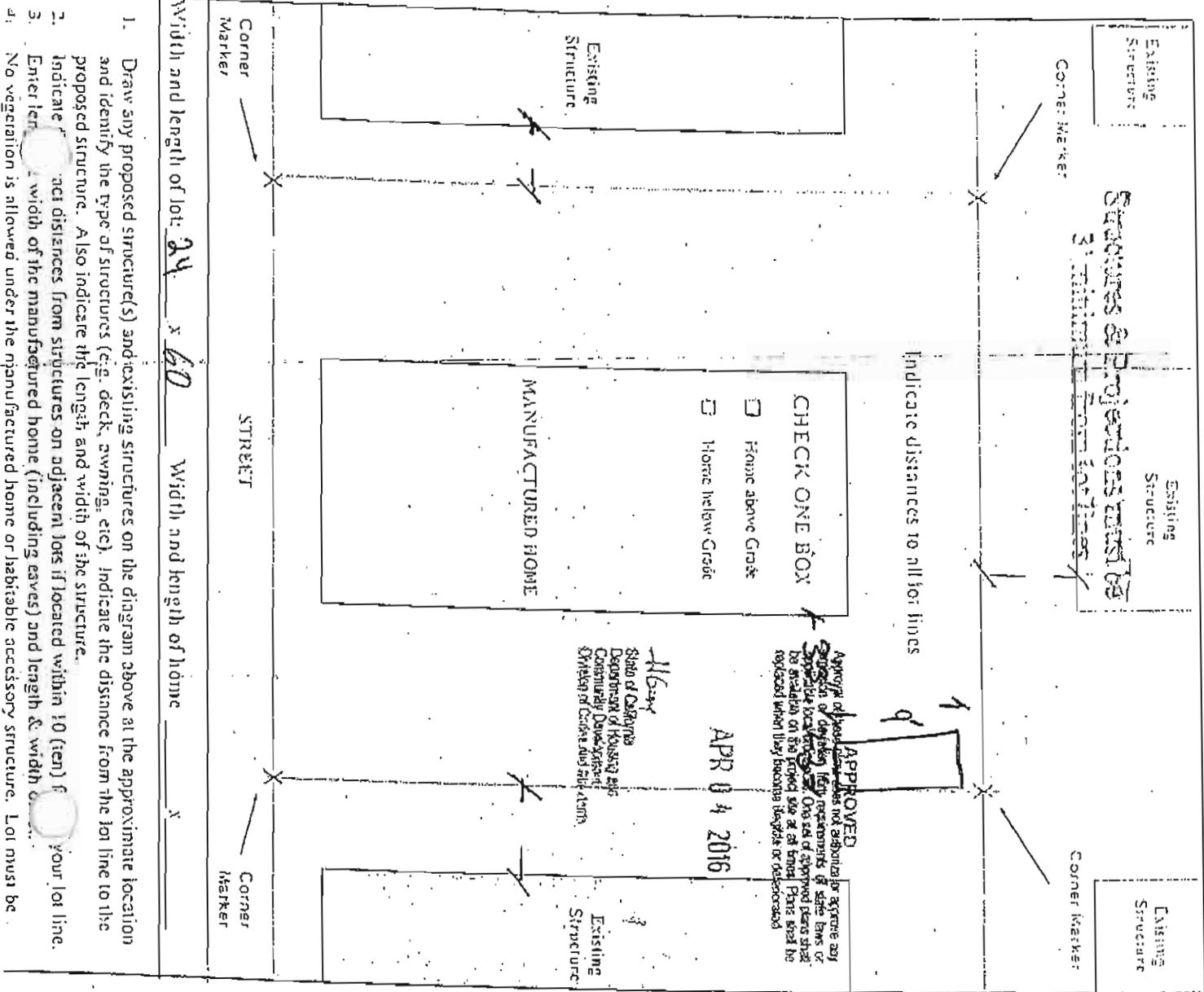
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager: _____
 State of California
 Department of Housing and Community Development
 Division of Codes and Standards



Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95876
 San Francisco Office
 3737 Alameda Street
 Alameda, CA 94501



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awnings, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate exact distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter lot width of the manufactured home (including eaves) and length & width of your lot line.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

LOT FLOOR PLAN AND PARK INFORMATION

Park Name: Living Alps RV Resort
 Homeowner Name: Steve B
 Homeowner Address: 279 924th
 City: Quailton

Design Information:
 Home Amperage: 50 Federal Amperage:
 Home Voltage: PSF Federal Voltage:
 Home Roof Load: PSF
 Roof Load for facility: PSF

C) Is the park located in a snow area requiring 30 lb or greater roof loading? YES NO

D) The lot line corners on the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

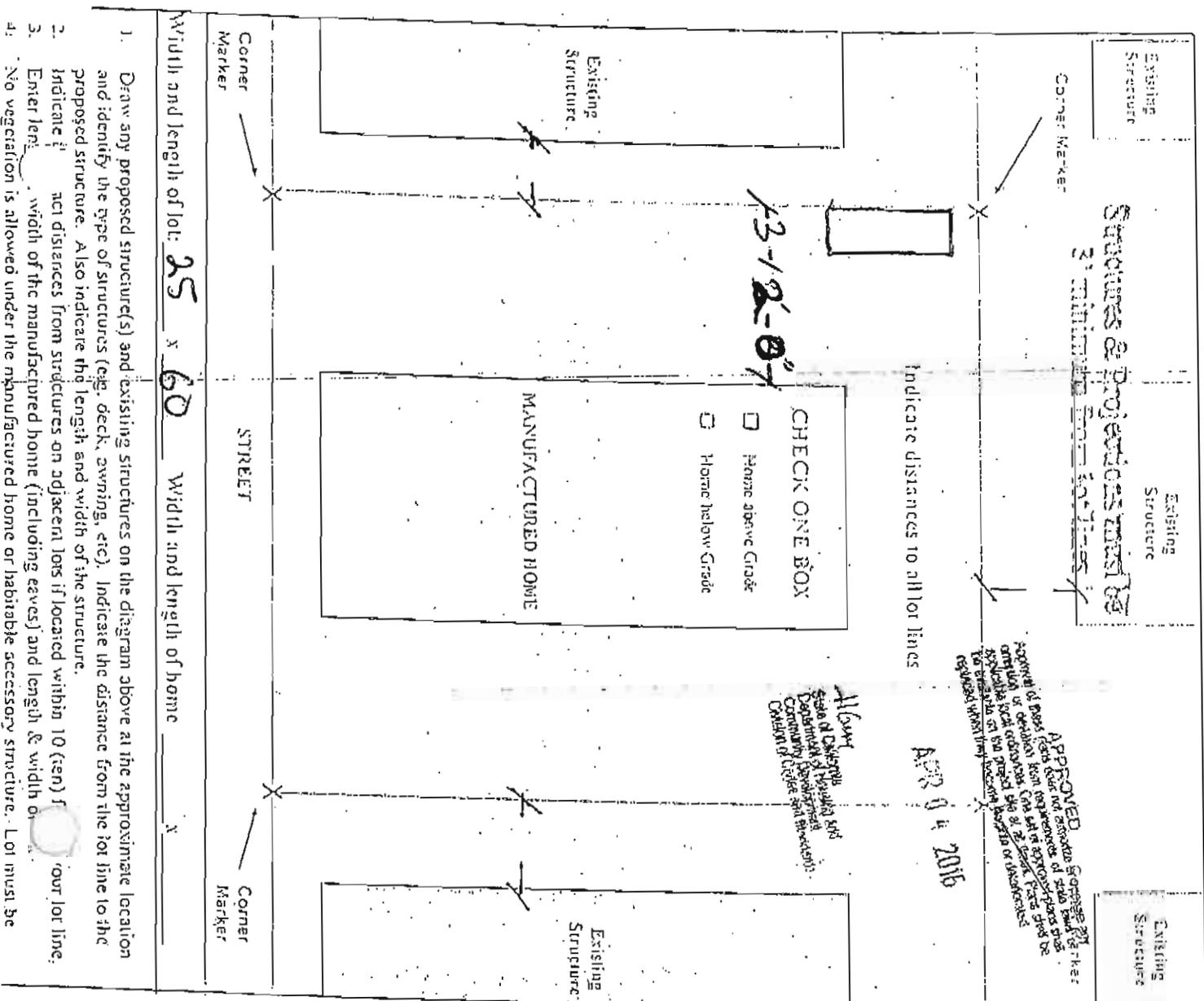
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

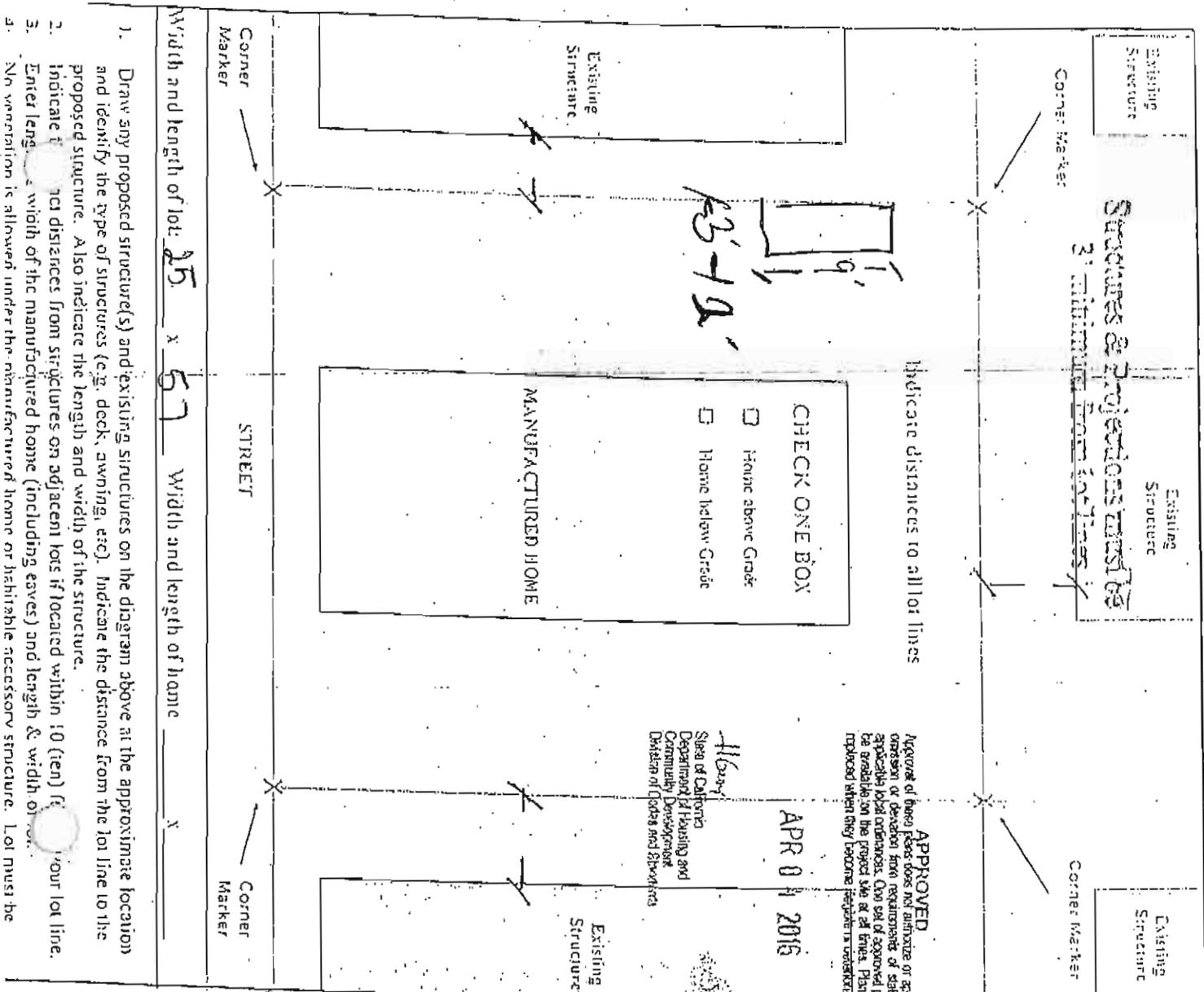
Signature of Park Owner, Operator, or Manager
 State of California
 Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95836

San Francisco Office
 3737...
 Riverside, CA 92501



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g., deck, awning, etc.). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate the actual distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter the width of the manufactured home (including eaves) and length & width of your lot line.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate the exact distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter length and width of the manufactured home (including eaves) and length & width of roof.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

Indicate distances to all lot lines

APPROVED
Approval of these plans does not authorize or approve any
alteration or deviation from requirements of state laws or
applicable local ordinances. Any set of approved plans that
be available on the project site at all times. Plans shall be
replaced when they become illegible or unworkable.

APR 01 2016

Albany
State of California
Department of Housing and
Community Development
Division of Codes and Standards

LOT/PILOT PLAN AND PARK INFORMATION

1) Park Name Baying Plains P.U. Resort
 Homeowner Name _____
 Homeowner Address 180 Pine of the Hills Dr
 City Yreaville Zip 92449

2) Design Information:
 Home Amperage _____ Federal Amperage 50
 Home Volts _____ Federal Volts _____
 Home Roof Load _____ PSF
 Roof Load for location _____ PSF

D) The lot line corners at the front and rear are clearly and permanently
 marked pursuant to Title 25 of the California Code of Regulations,
 Sections 1104 or 2104 in the following manner:
 YES NO

NOTE: Each lot line corner shall be clearly and permanently marked
 prior to installation and inspection.

STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized
 representative, I hereby certify that the information provided on
 this plot plan relative to the location of the manufactured home,
 all related accessory structure locations and separations and the
 park and homeowner information is true, accurate and
 complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
 State of California
 Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 South Area Office
 3757 L St. 400
 Riverside, CA 92503

LOT PLOT PLAN AND PARK INFORMATION

1) Park Name: Alving Plaza RV Resort
 Homeowner Name: BOB AND ANNE AT THE PLAZA
 Homeowner Address: 1800 ANNE AT THE PLAZA
 City: Buellton State: CA Zip: 93425

2) Design Information:
 Home Amperage: 50 Federal Amperage: 50
 Home Volting: PSF Federal Volting: PSF
 Home Roof Load: PSF
 Roof Load for locality: PSF

3) Is the park located in a snow area requiring 30 lb or greater roof loading? YES NO

APPROVED
 Approval of these plans does not constitute an approval of the project or division from requirements of this act or any other applicable local ordinances. One set of approved plans shall be available on the project site at all times. Signs of approval shall be removed when they become illegible or damaged.

APR 04 2016

Allyson
 State of California
 Department of Housing and Community Development
 Division of Codes and Standards

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

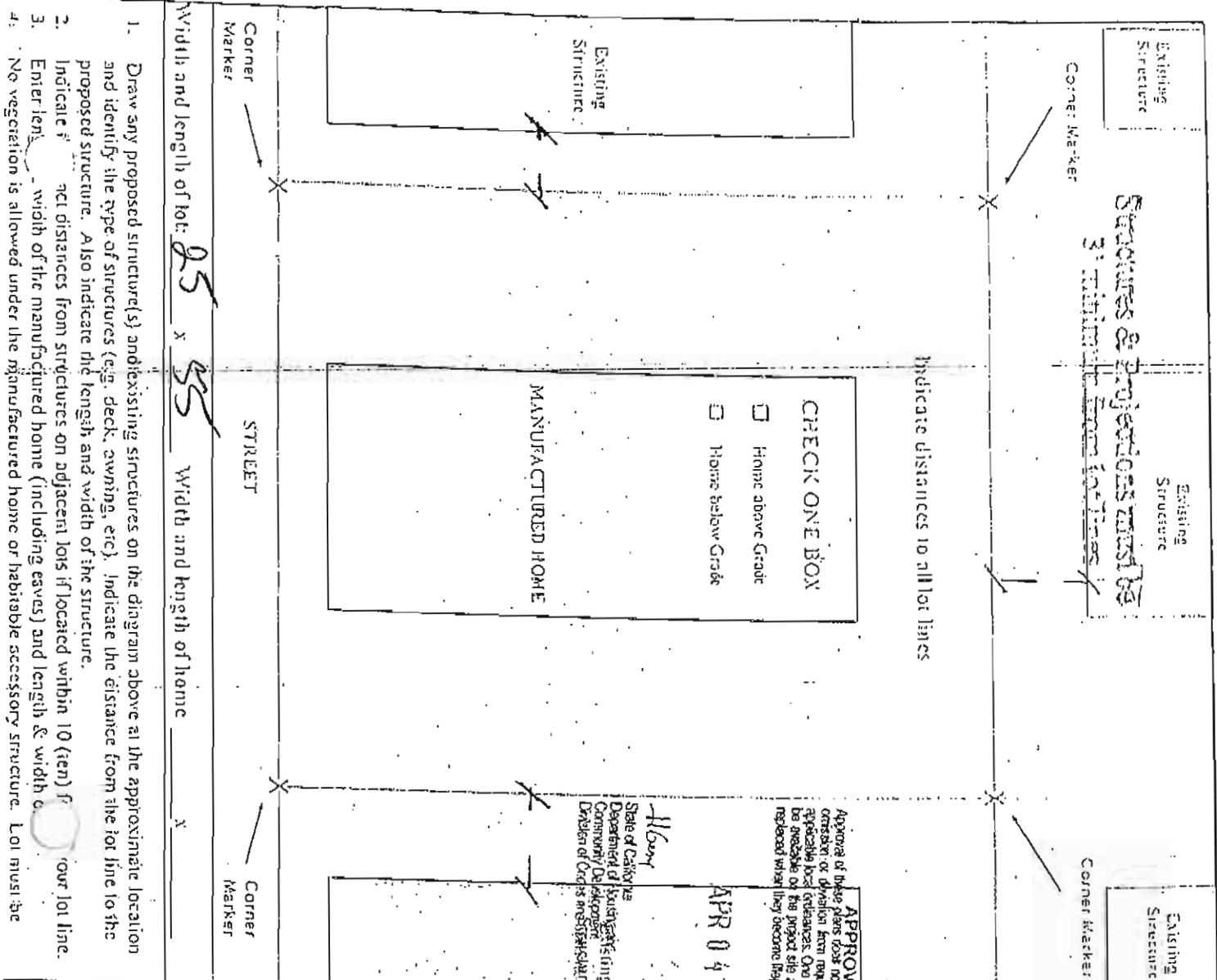
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
 Department of Housing and Community Development
 Division of Codes and Standards
 State of California



Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 South Office
 3757 J St, 400
 Riverside, CA 92501



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g., deck, awning, etc.). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate feet and distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter length and width of the manufactured home (including eaves) and length & width of your lot line.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

LOT FLOOR PLAN AND FARM INFORMATION

1) Park Name: Alamo Flags Pt Resort
 Homeowner Name: Alamo Flags Pt Resort
 Homeowner Address: 10000 Alamo Flags Pt Rd
 City: Buellton Zip: 93427

2) Design Information:
 Home Amperage: 500 Federal Amperage: 500
 Home Voltage: 250 Federal Voltage: 250
 Home Roof Load: PSF
 Roof Load for locality: PSF

3) Is the park located in a snow area requiring 50 lb or greater roof loading? YES NO

4) Approval of these plans does not constitute an approval of the design or construction of the structure. The engineer or architect is responsible for the design and construction of the structure. The engineer or architect is responsible for the design and construction of the structure. The engineer or architect is responsible for the design and construction of the structure.

APR 04 2016

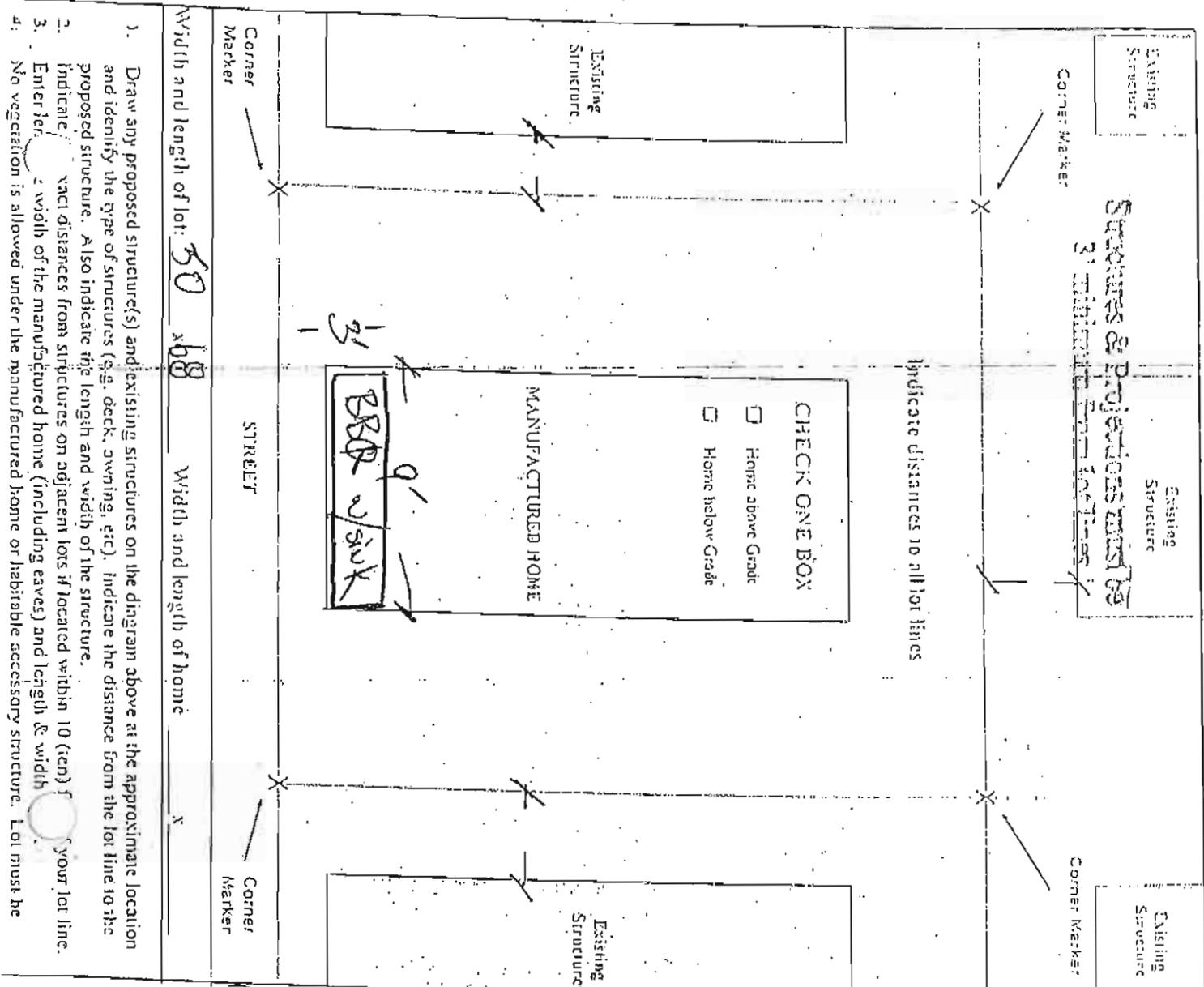
NOTE: Each lot line corner shall be clearly and permanently marked with 9/16" installation and inspection.

STATEMENT OF RESPONSIBILITY (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
 State of California
 Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 South Area Office
 375 N. St. 400
 Riverbank, CA 95170



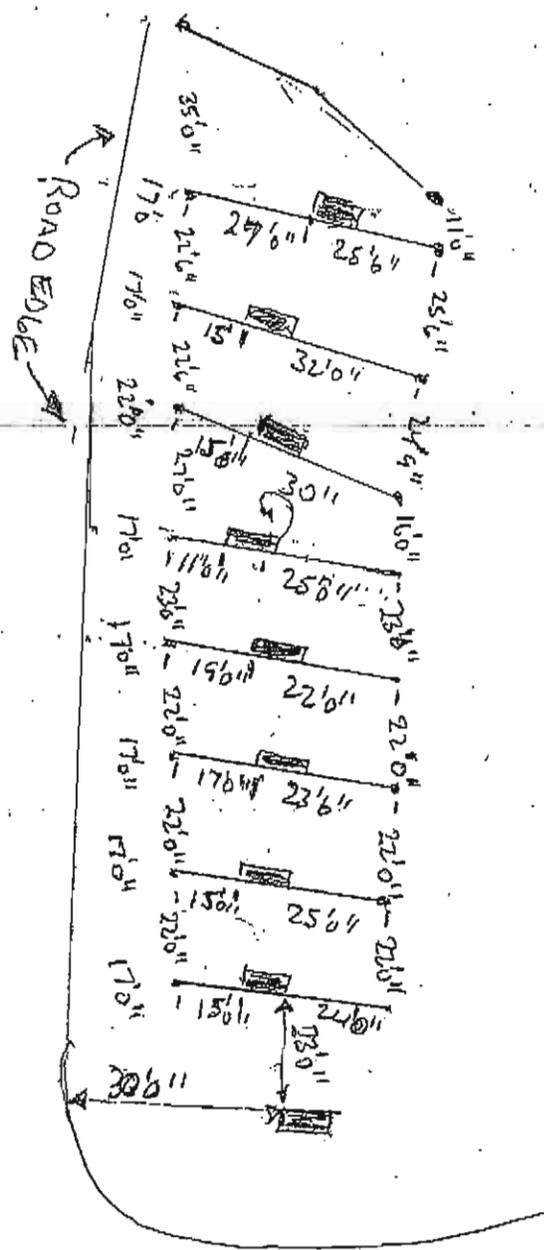
1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate exact distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter the width of the manufactured home (including eaves) and length & width of your lot line.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

RV Sites A1-A8

APPROVED
Approval of these plans does not constitute or approve any
omission or deviation from requirements of state laws or
application local ordinances. One set of approved plans shall
be retained on the project site at all times. Plans shall be
replaced when they become illegible or discolored.

APR 04 2016

ALL BBO'S ARE
9'8" X 30'
11647
State of California
Department of Housing and
Community Development
Division of Parks and Recreation



AIR STREAM

LOT PLOT PLAN AND PARK INFORMATION

1) Park Name Alpine Flags RV Resort
 Homeowner Name POWELL OF THE ALPS
 Homeowner Address PO BOX 935079
 City Buellton ZIP 93507

2) Design Information:
 Home Amperage: _____ Federal Amperage: 50
 Home Voltage: _____ Federal Voltage: _____
 Home Roof Load: _____ PSF
 Roof Load for locality: _____ PSF

3) Is the park located in a snow area requiring 30 or greater roof loading?
 YES NO

4) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations Sections 1104 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

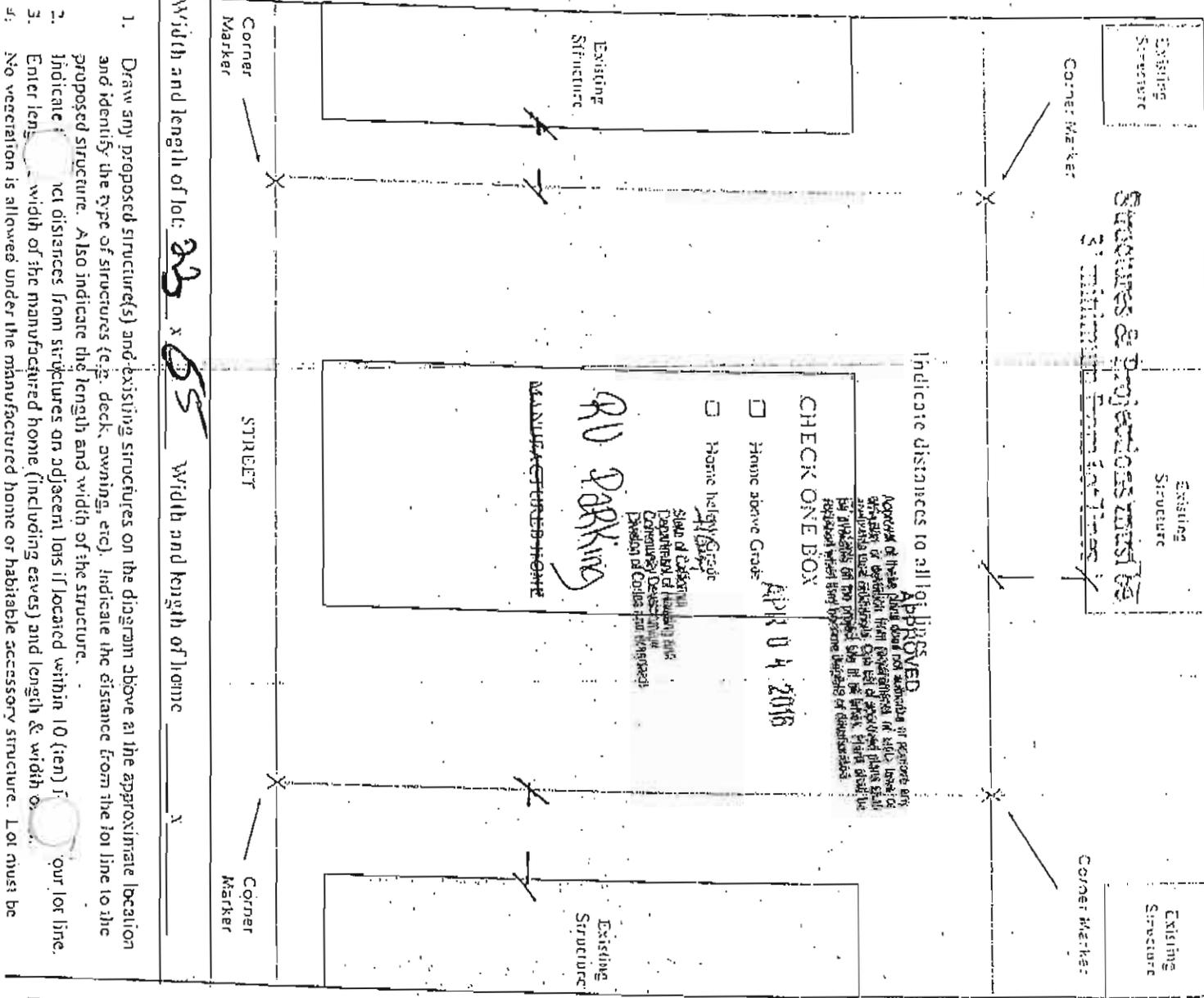
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
[Signature]

State of California
 Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 South Office
 3737 RiverSide, CA 92501



LOT PLAN AND PARK INFORMATION

1) Park Name: Alving Blags RD Park
 Homeowner Name: 180 Alving Rd
 Homeowner Address: 180 Alving Rd
 City: Swallow ZIP: 93427

2) Design Information:
 Home Amperage: 50 Federal Amperage: 50
 Home Voltage: PSF Federal Voltage: PSF
 Home Roof Load: PSF
 Roof Load for locality: PSF

3) Is the park located in a snow area requiring 10 lb or greater roof loading? YES NO

4) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

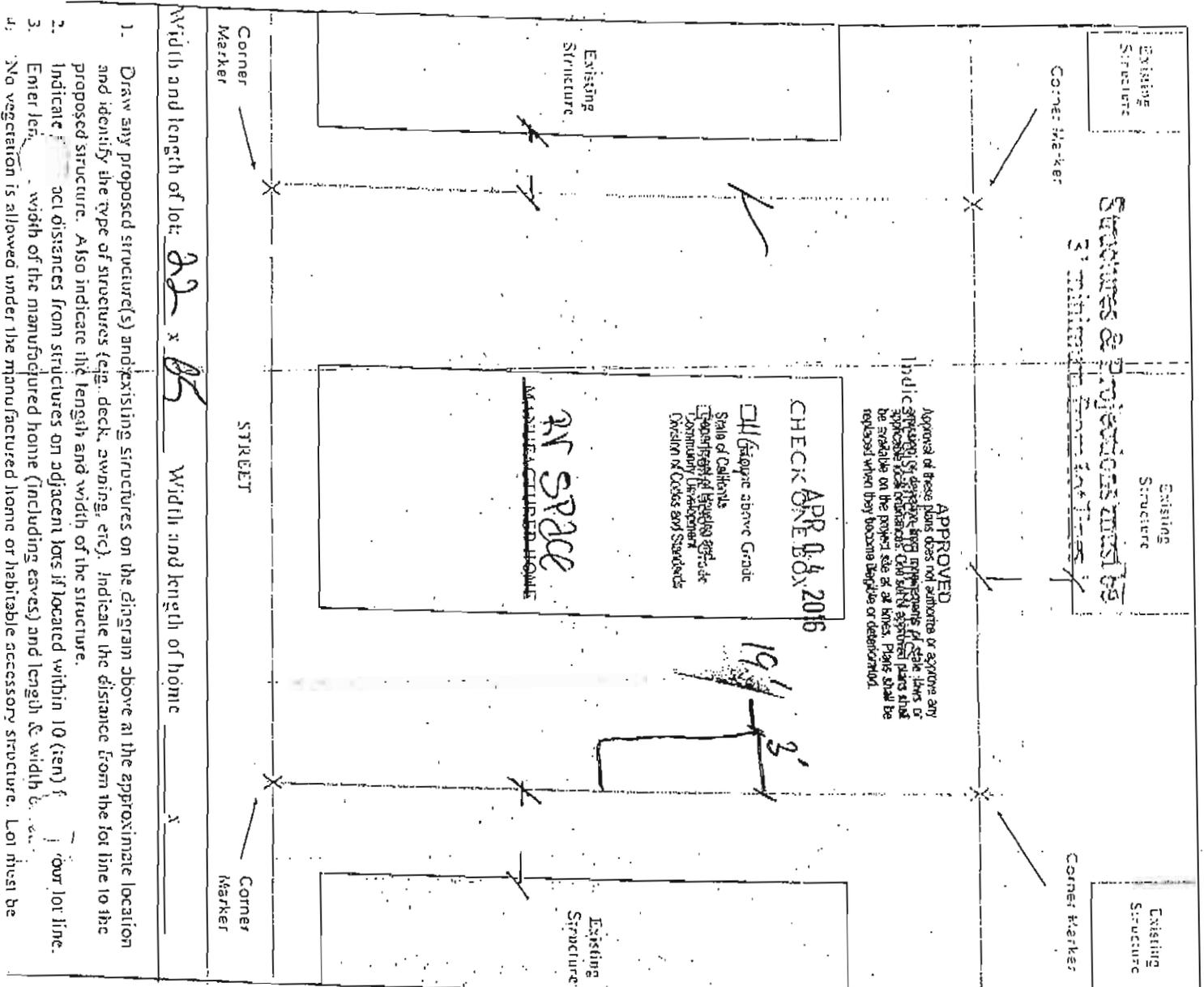
As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
[Signature]

State of California
 Department of Housing and Community Development
 Division of Codes and Standards



Northern Area Office
 2342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 Sun 577... Office
 Riverside, CA 92507



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g., deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate all distances from structures on adjacent lots if located within 10 (ten) feet of your lot line.
3. Enter lot width of the manufactured home (including eaves) and length & width of the structure.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

Width and length of lot: 22 x 05 Width and length of home: 19 x 3

LOT, PLOT, BEAN AND PARK INFORMATION

Lot Name: Flaming Flaps RV Resort
 Homeowner Name: Flaming Flaps
 Homeowner Address: 1800 Alhambra Ave, Flaming Flaps, CA 91702
 City: Buena Vista ZIP: 92403

Design Information:
 Home Amperage: 50 Federal Amperage: 50
 Home Voltage: _____ Federal Voltage: _____
 Home Roof Load: _____ PSF
 Roof Load for loading: _____ PSF

D) The lot line corners on the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner:
 YES NO

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

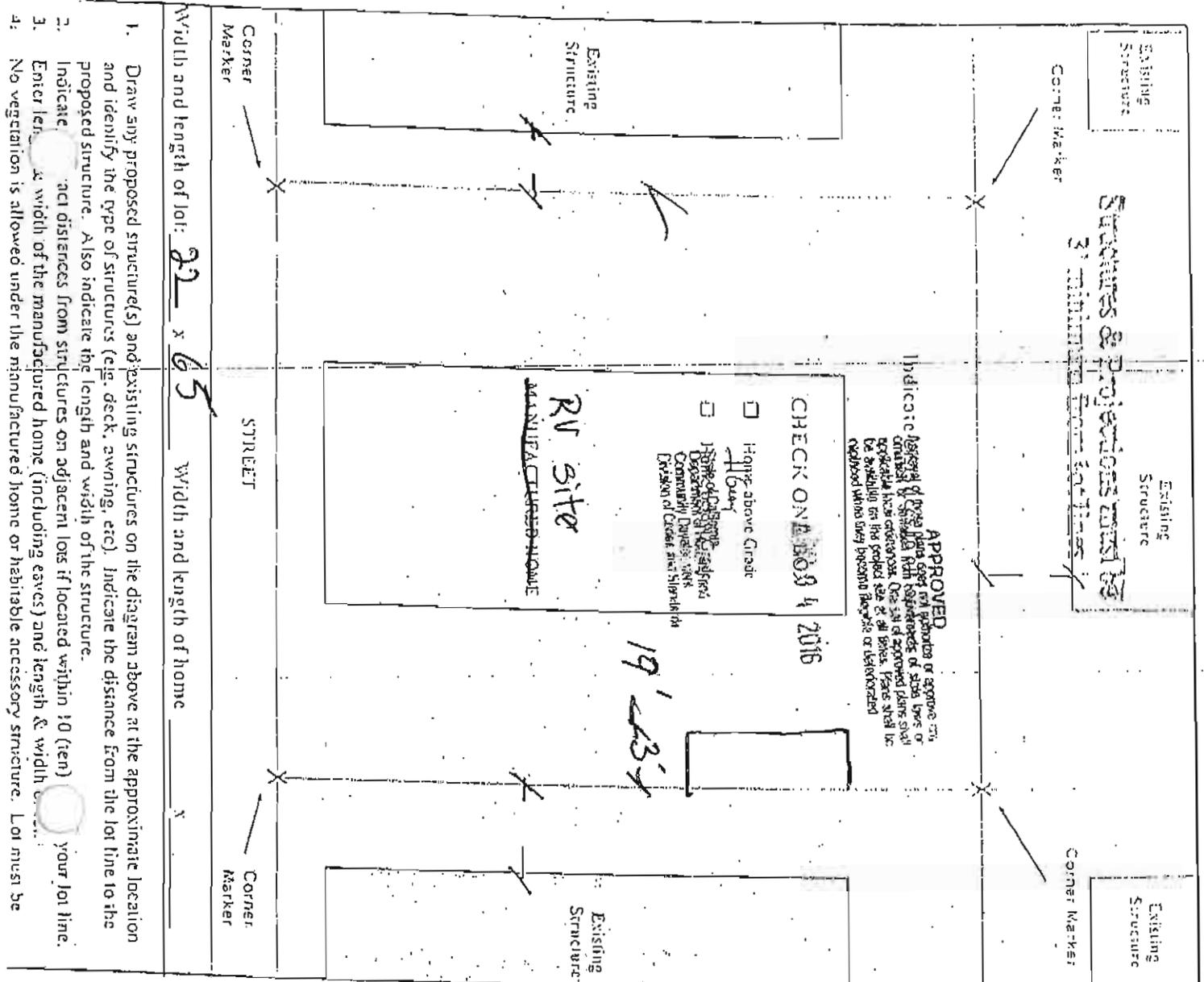
As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager
[Signature]

State of California
 Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826

San Francisco Office
 371 Market Street, Suite 400
 San Francisco, CA 94101



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate the clearances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter length & width of the manufactured home (including eaves) and length & width of any other structure.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

LOT, LOT PLAN AND PARK INFORMATION

A) Park Name Flying Flags RV Resort
 Homeowner Name _____
 Homeowner Address 180 AVE OF THE FLAGS
 City Buellton Zip 93423

B) Design Information:
 Home Amperage: _____ Federal Amperage: 50
 Home Voltage: _____ Federal Voltage: _____
 Home Roof Load: _____ PSF
 Roof Load for locality: _____ PSF

C) Is the park located in a snow area requiring 20 lb or greater roof loading?
 YES NO

D) The lot line corners on the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations Sections 1102 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

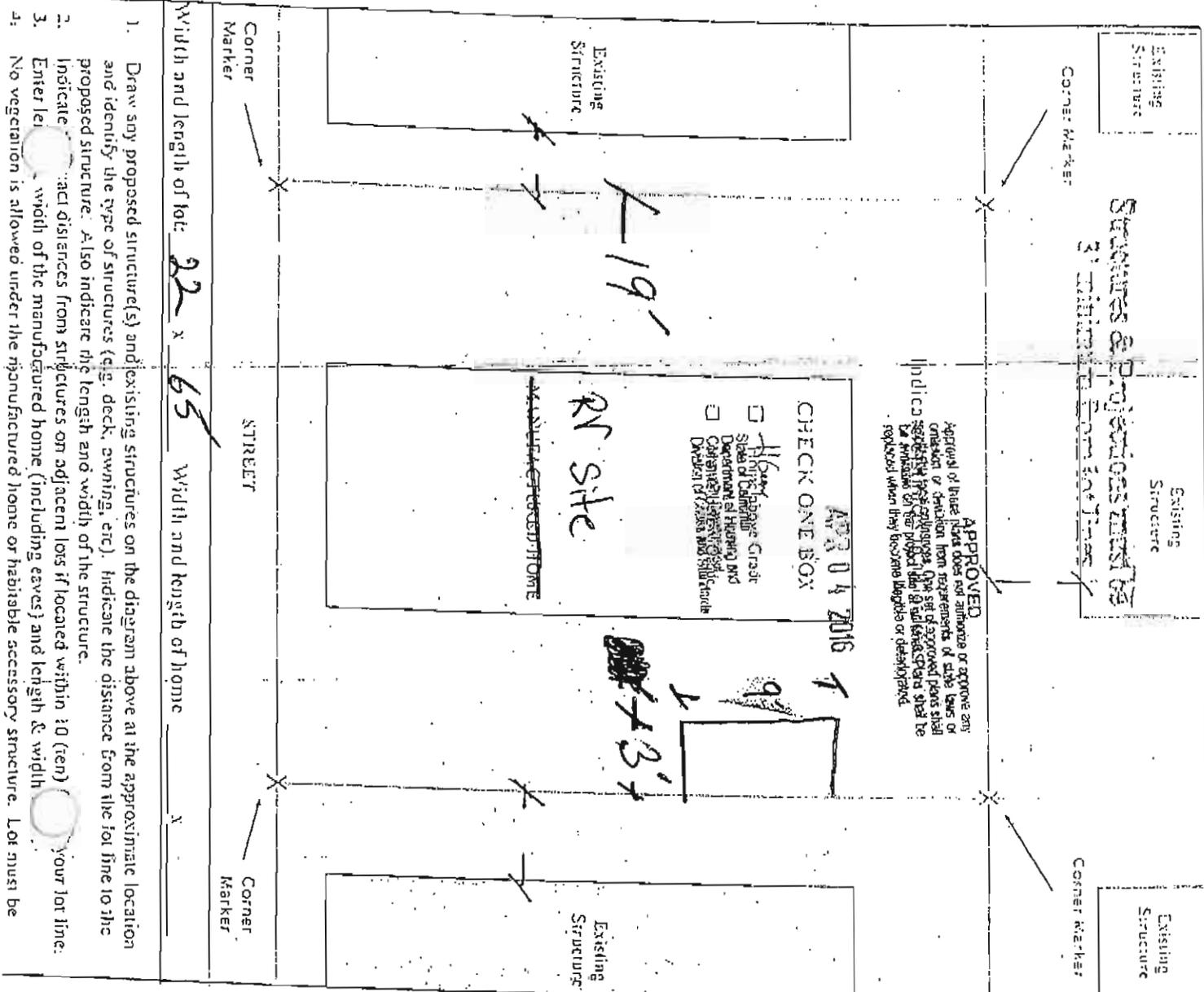
STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

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Signature of Park Owner, Operator, or Manager
[Signature]

State of California
 Department of Housing and Community Development
 Division of Codes and Standards

Northern Area Office
 9347 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 San Diego Office
 375 _____ Ave, Ste 400
 Riverside, CA 92501



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate exact distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter lot width of the manufactured home (including eaves) and length & width.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

LOT, PLOT, LEAN AND PARK INFORMATION

a) Park Name: Alpine Flagg RV Resort
 Homeowner Name: _____
 Homeowner Address: 180 Ave of the Flagg
 City: Swallow State: AZ Zip: 92420

b) Design Information:
 Home Amperage: _____
 Home Voltage: _____
 Home Roof Load: _____
 Roof Load for location: _____

c) Is the park located in a snow area requiring 20 lb or greater roof loading?
 YES NO

d) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

STATEMENT OF RESPONSIBILITY
 (ORIGINAL SIGNATURE REQUIRED)

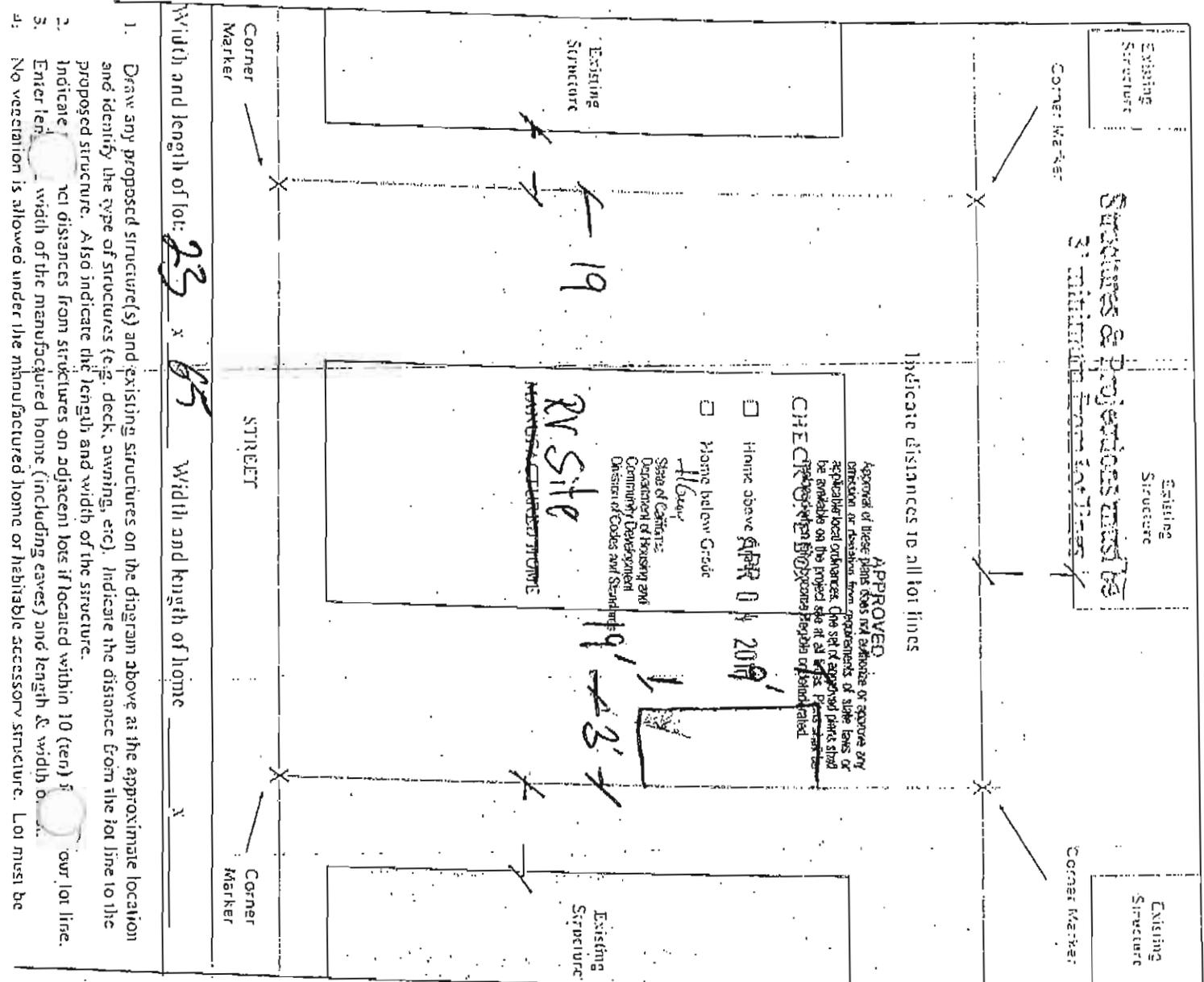
As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

[Signature]
 Signature of Park Owner, Operator, or Manager

State of California
 Department of Housing and Community Development
 Division of Codes and Standards



Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826
 Sun Office
 3757
 Riverside, CA 92501



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate all distances from structures on adjacent lots if located within 10 feet of our lot line.
3. Enter lot width of the manufactured home (including eaves) and length & width of our lot line.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

LOT PLAN AND PERM INFORMATION

1) Park Name: Alinda Flaps RIF Resort
 Homeowner Name: Alinda Flaps
 Homeowner Address: 100 Ave of the Flaps Spc A-1
 City: Buellton CA 93427

2) Design Information:
 Home Amperage: _____ Federal Amperage: 50
 Home Voltage: _____ Federal Voltage: _____
 Home Roof Load: _____ PSF
 Roof Load for location: _____ PSF

3) Is the park located in a snow area requiring 30 lb or greater roof loading?
 YES NO

4) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations Sections 1104 or 2104 in the following manner:

NOTE: Each lot line corner shall be clearly and permanently marked prior to installation and inspection.

STATEMENT OF RESPONSIBILITY
 ORIGINAL SIGNATURE REQUIRED

As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plan relative to the location of the manufactured home, all related accessory structure locations and separations and the park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above.

Signature of Park Owner, Operator, or Manager

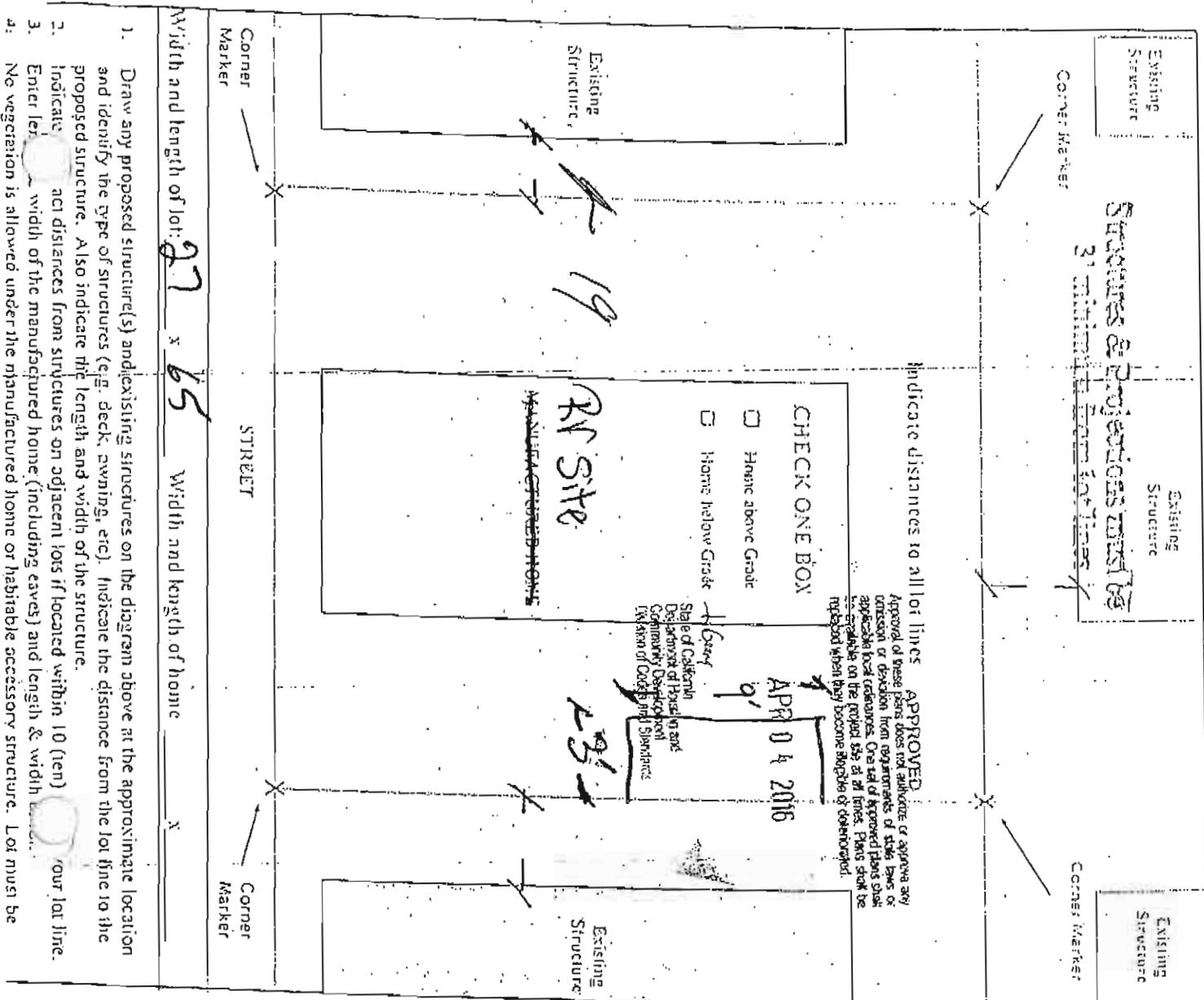
 State of California

Department of Housing and Community Development
 Division of Codes and Standards



Northern Area Office
 9342 Tech Center Drive, Suite 550
 Sacramento, CA 95826

Southern Area Office
 3751 River Street, Suite 400
 Riverside, CA 92501



1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.
2. Indicate actual distances from structures on adjacent lots if located within 10 feet of your lot line.
3. Enter lot width of the manufactured home (including eaves) and length & width of your lot line.
4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be

FOR INSPECTION PLEASE CALL
KEN PERGESON
 805-746-7557

State of California
 Business, Consumer Services and Housing Agency
 Department of Housing and Community Development
 Division of Codes and Standards
 Mobilehome and Special Occupancy Parks Programs



APPLICATION FOR PERMIT TO CONSTRUCT

REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION

REQUIRED FOR COMMERCIAL MODULARS OR RECREATIONAL VEHICLES

LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
 Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
 I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.);

as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code); The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code); The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____ B. & P.C. for this reason:

Owner _____ Date _____

WORKERS' COMPENSATION DECLARATION
 I affirm under penalty of perjury one of the following conditions:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____
 Policy Number _____
 (this section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY
 I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____
 Lender's Address _____

5. CERTIFICATION
 I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Applicant or Agent _____ Date 4/6/16

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name Flying Flags RV Resort
 Park Address 180 Avenue of flags
 City Buellton county Santa Barbara
 Zip 93427 Unincorporated _____ Incorporated X
 Park Owner FPA Flying flags Associates LLC
 APPLICANT Ron Biddlecome
 CONTRACTOR OWNER Other AGENT
 Address _____ Tel. No. (530) 360-6990
 Architect/Engineer _____ Lic. No. _____
 Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Install low Voltage String lights Around Recreational Area from existing Power Source.
 Valuation \$ 2500

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____
 Awning Carport Porch Cabana
 Other (specify) _____
 OWNER _____ Tel. No. _____
 Address _____
 RESIDENT _____ Tel. No. _____
 Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____
 Address _____
 Resident _____ Lot No. _____
 Serial Number(s) _____
 Date of MFG. _____ Manufacturer Name/Model Name _____
 Insignio/HUD _____
 Label No. _____

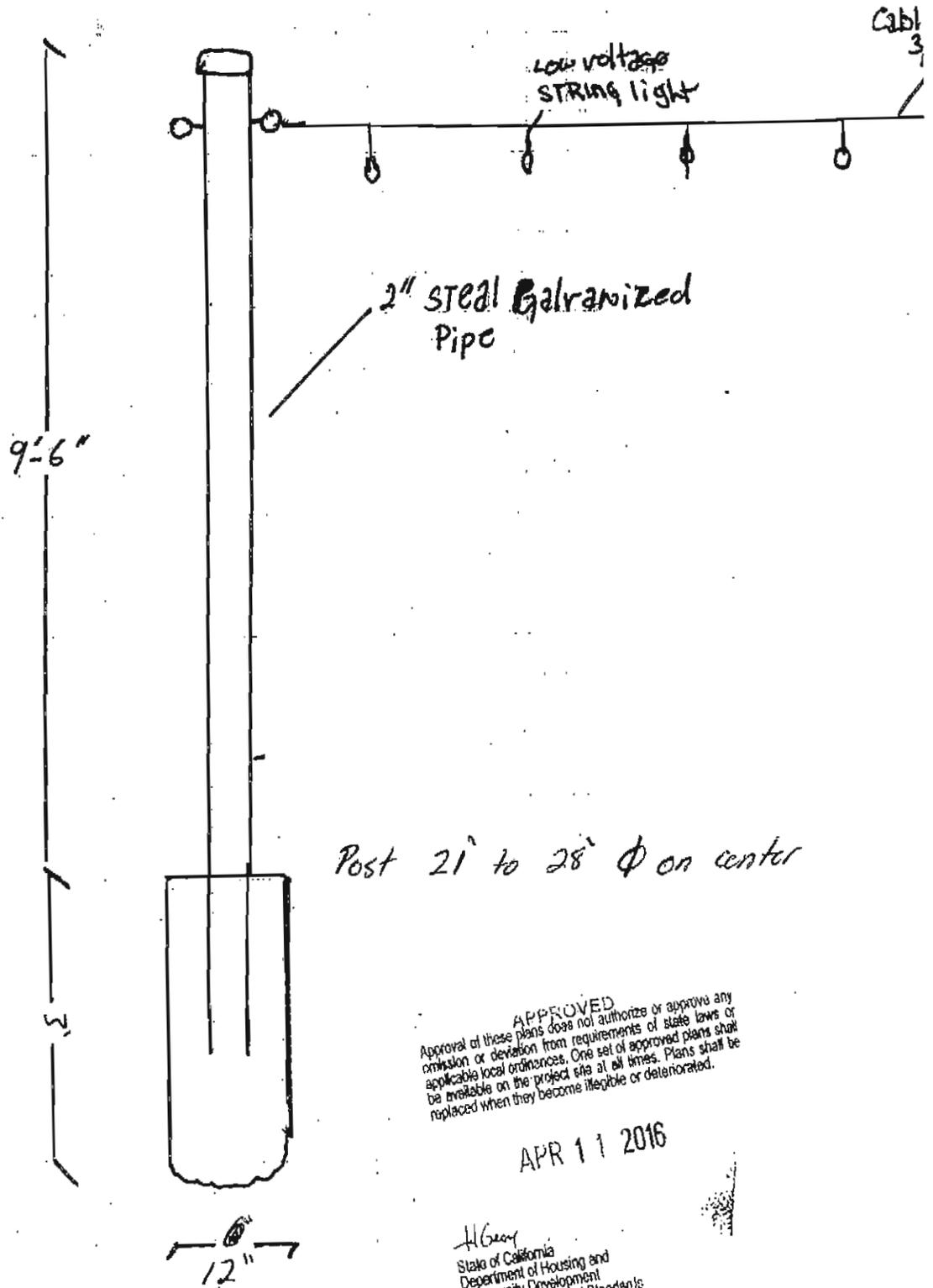
SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE
 APPROVED: _____ Date 4/6/16
 (Signature Required)

DEPARTMENT USE ONLY
 ID. No. 42-0118
 MP AS MH
 Closed By [Signature]
 Date Closed 6-15-16
COLLECTION INFORMATION
 Collection # 88808889
 Fee Rec'd \$196-
 Collection Date 4/11/16
 Assigned To PERGESON
 Routed By [Signature]
 Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.
 PERMIT # 88808889
 MH ACC/S _____
 MP \$196-
 BLDG _____
 MH _____
 MISC. _____
 TECH SER. _____
 PLCK _____
 S.M.I. _____
 ISSUE _____
 TOTAL \$196-

DIVISION PROCESS RECORD
 Application _____
 Local Planning _____
 Local Fire _____
 Local Health _____
 Public Works _____
 Environmental Impact _____
 Negative Declaration _____
 School Impact Fees _____
 Date 4/11/16
 Issued By [Signature]
 Expires 10/11/16

Handwritten notes: NWK# 12222 (A...)

Bocci Ball AREA Lighting



APPROVED
Approval of these plans does not authorize or approve any omission or deviation from requirements of state laws or applicable local ordinances. One set of approved plans shall be available on the project site at all times. Plans shall be replaced when they become illegible or deteriorated.

APR 11 2016

H. Geary
State of California
Department of Housing and
Community Development
Division of Codes and Standards

Flying Flags RV Resort
180 Avenue of flags
Buellton, Ca 93427
Santa Barbara County

MAP LEGEND

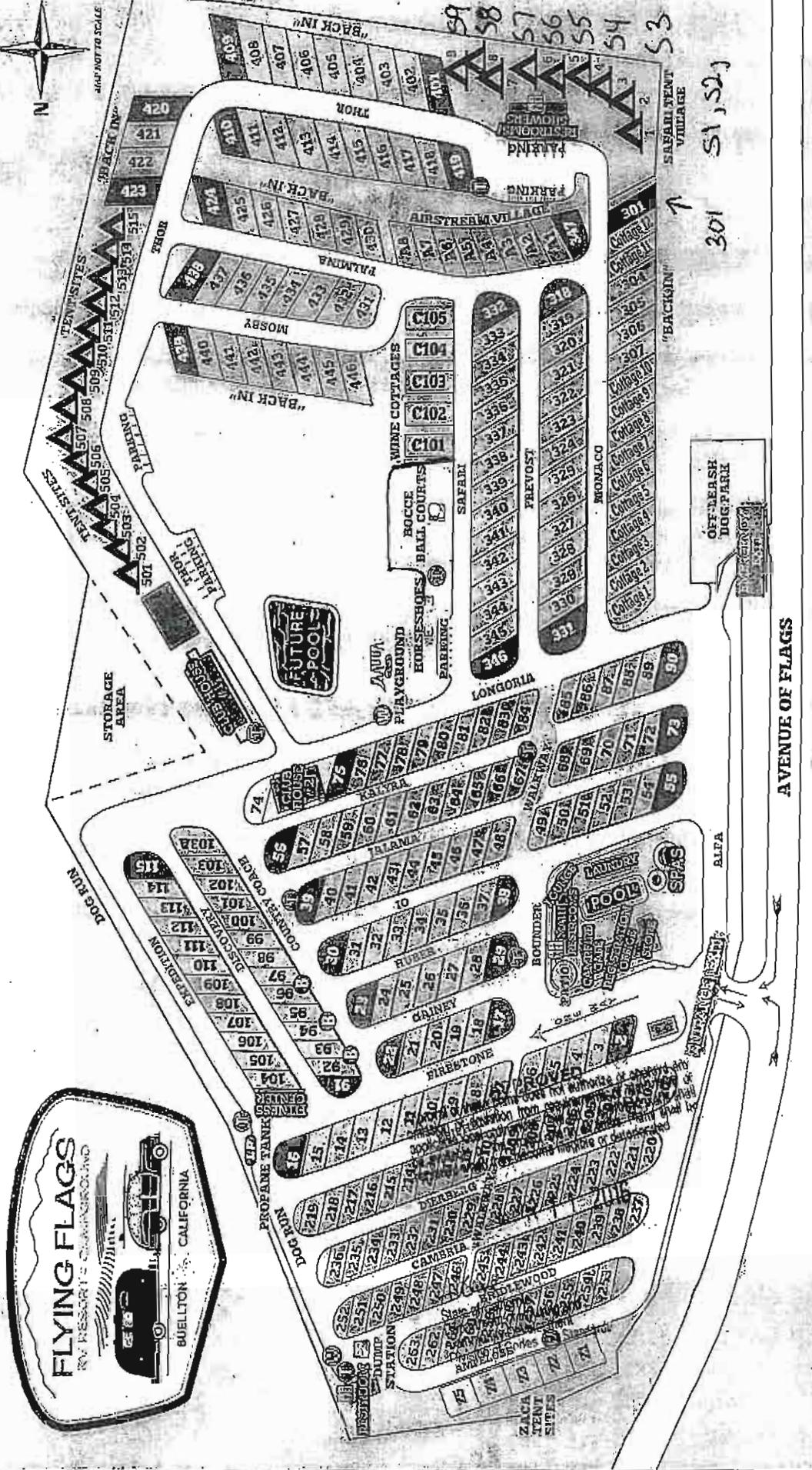
- Zaca Tent Site
- Safari Tent Site
- Tent Site
- Buddy Sites
- Trash Station
- Water
- Premium Plus Site
- Premium Site
- Deluxe Site
- Rental Cottages & Airstreams



CLEANING SCHEDULE

We work hard all day to keep our facilities clean.
 The facilities will be closed at these times for "Super Cleaning":

Main Restrooms: 3:00 PM - 4:00 PM
 North Restrooms: 9:00 AM - 10:00 AM
 South Restrooms: 10:30 AM - 11:30 AM
 Laundromat: 8:00 AM - 9:00 AM



APR 17
COPY



Business, Transportation and Housing Agency
Department of Housing and Community Development
Division of Codes and Standards
Mobilehome and Special Occupancy Parks Programs
APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
required for commercial modulars or Recreational Vehicles

LICENSED CONTRACTORS DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
Contractor _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.).

I, as owner of the property, or my employees with wages as the sole compensation, will do the work and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves the same, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves the same, and who contracts for such project with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____, B. & P.C. for fabrication:
Owner _____ Date _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following conditions:
I have and will maintain a certificate of content to self-insure workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant: _____ Date: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____
Lender's Address _____

5. CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building conditions, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name FLYING FLAGS RV RESORT

Park Address 180 AVE OF FLAGS

City BUENTON County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated _____

Park Owner FPA FLYING FLAGS ASSOC.

APPLICANT PATRICK HOUSH

CONTRACTOR OWNER Other ARCHITECT

Address 186 W. ALAMAR AVE #C

Santa Barbara 93105 Tel. No. 805-662-8894

Architect/Engineer Paul POIKER Lic. No. #15-831

Address 156 W. MARINA ST. Tel. No. 805-662-8894

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Expand and remodel cafe.

Valuation \$ 1147,803.61

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER _____ Tel. No. _____

Address _____

RESIDENT _____ Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/Model Name _____

Insignt/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: Patrick Housh 4/14/14

(Signature Required) _____ Date _____

DEPARTMENT USE ONLY

ID. No. 42-0118

MP AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8062867

Fees Rec'd 1,007.00

Collection Date 4-17-14

Assigned To WOOD

Routed By VASQUEZ

Upon Department approval to release and payment of fees, this permit is issued only for items validated below:

PERMIT # 8062867

MHAGCS #809

MP _____

BLDG. _____

MHI _____

MISC. _____

TECH. SER. _____

PLCK. #203

S.M.L. _____

ISSUE _____

TOTAL 1007.-

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 4/17/14

Issued By Vasquez

Expires 10/17/14

1/20/14

Flying Flags RU Resort
FPA Flying Flags LLC.
180 Ave. of The Flags
PARK ID # 42-0118

Deli Remodel

To whom it may concern:

Please extend our Permit # 8062867
& These Attached Plans for Changes on the
Deli.

Health Dept. has approved the new Plans.
Dated AUG 18, 2014

Please Call with ANY Questions or Concerns

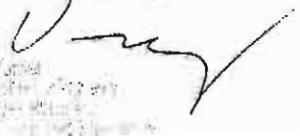
Best Regards

Ronald Biddlecome
(253) 355-0803
rjb-inc@ymail.com

EXTENSION APPROVED
90 DAYS

Administrative Services, Inc.
1000 N. 10th Street, Suite 100
Trenton, NJ 08611
Tel: 609-391-1234
www.adminservicesinc.com

JAN 21 2014


Administrative Services, Inc.
1000 N. 10th Street, Suite 100
Trenton, NJ 08611
Tel: 609-391-1234
www.adminservicesinc.com



Business, Transportation and Housing Agency
Department of Housing and Community Development
Division of Codes and Standards
Mobilehome and Special Occupancy Parks Program

APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
(As required for commercial modulars or Recreational Vehicles)

1. LICENSED CONTRACTOR'S DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class Lic. No. Exp. Date
Contractor Date

2. OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages at their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7034, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves (herein, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractor to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves (herein, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B. & P.C. for this reason:

Owner: _____ Date: _____

3. WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following conditions:
I have and will maintain a certificate of consent to self-insure or workers compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers compensation insurance carrier and policy number are:
Carrier: _____
Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers compensation laws of California, and I agree that I should become subject to workers compensation provisions of section 3700 of the Labor Code. I shall not will comply with those provisions.

Applicant: _____ Date: _____

WARNING: FAILURE TO SECURE WORKERS COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name: _____

Lender's Address: _____

5. CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: _____ Date: _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name: FLYING FLAGS RU RESORT

Park Address: 180 AVE OF FLAGS

City: BUNTON County: Santa Barbara

Zip: 93427 Unincorporated Incorporated

Park Owner: FPA FLYING FLAGS ASSOC.

APPLICANT: PATRICK HOUSH

CONTRACTOR OWNER Other: ARCHITECT

Address: 156 W. ALAMAR AVE #C

Santer Barbara 93105 Tel. No. 805-682-8074

Architect/Engineer Paul POIRER Lic. No. 418-831

Address: 156 W. Alamar St. Tel. No. 805-682-8874

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Expand and remodel coffee

Valuation: \$147,803.61

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER: _____ Tel. No. _____

Address: _____

RESIDENT: _____ Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner: _____ Tel. No. _____

Address: _____

Resident: _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/Model Name _____

Insights/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: [Signature] Date: 4/14/14

(Signature Required) _____ Date: _____

DEPARTMENT USE ONLY

ID. No. 14-0118

AMP AS MH

Closed By: Ken [Signature]

Date Closed: 5-12-15

COLLECTION INFORMATION

Collection #: 8062867

Fee Rec'd: 1,007.00

Collection Date: 4-17-14

Assigned To: W/001

Routed By: VASQUEZ

Upon Department approval to release, and payment of fees, this permit is valid only for items validated below.

PERMIT #: 8062867

MH AGG/S: _____

MP: 8067

BLDG: _____

MH: _____

MISC: _____

TECH. SER: _____

PLCK: 8067

S.M.U.: _____

ISSUE: _____

TOTAL: 1007.00

DIVISION PROCESS RECORD

Application: _____

Local Planning: _____

Local Fire: _____

Local Health: NAH-14-15

Public Works: _____

Environmental Impact: _____

Negative Declaration: _____

School Impact Fees: _____

Date: 4/17/14

Issued By: [Signature]

Expires: 10/17/14

1/20/14

Flying Flags RU Resort
FPA Flying Flags LLC.
180 AVE. of The flags
PARK ID # 42-0118

Deli Remodel

To whom it may concern:

Please extend our Permit # 8062867

§ These Attached Plans for Changes on the Deli.

Health Dept. has approved the new Plans.
Dated AUG 18, 2014

Please Call with ANY Questions or CONCERNS

Best Regards

Ronald Biddlecome

(253) 355-0803

RJB-inc@ymail.com

EXTENSION APPROVED
90 DAYS

[Faint official stamp text]

JAN 21 2015
[Signature]

APPLICANT COPY

Business, Transportation and Housing Agency
Department of Housing and Community Development
Division of Codes and Standards
Mobilehome and Special Occupancy Parks Programs
APPLICATION FOR PERMIT TO CONSTRUCT
(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)



State of California

CONTRACTOR/OWNER BUILDER DECLARATIONS
Not required for commercial modulars or Recreational Vehicles

1. LICENSED CONTRACTORS DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
Contractor _____ Date _____

2. OWNER/BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, shall require the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.).

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended to be offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves a structure, and who does such work himself or herself as the owner or her own employees, provided that such improvement is not intended to be offered for sale. If, however, the building or improvement is sold within one year of completion, the owner/builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves the project, and who contracts for such projects with a contractor licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____ B. & P.C. for the reason:

Owner _____ Date _____

3. WORKERS' COMPENSATION DECLARATION
I hereby affirm under penalty of perjury one of the following situations:

I have and will maintain a certificate of consent to self-insure or workers' compensation as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____
Policy Number _____
(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
Applicant: _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

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Lender's Name _____
Lender's Address _____

5. CERTIFICATION
I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name FLYING FLAGS RU RESORT

Park Address 180 AVE OF FLAGS

City BUNTON County Santa Barbara

Zip 93427 Unincorporated _____ Incorporated

Park Owner: PFA FLYING FLAGS ASSOC.

APPLICANT PATRICK HOUSH

CONTRACTOR OWNER Other ARCHITECT

Address 186 W. ALAMAR AVE #C

San Jose Barbara 93105 Tel. No. 805-682-8894

Architect/Engineer Paul Power Lic. No. 415-831

Address 186 W. Alamar St. Tel. No. 805-682-8894

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Expand and remodel coffee

APPROVED
PERMIT
4/17/15
Valuation \$ 147,803.61

SECTION 3 - ACCESSORY BUILDINGS OR STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Gabotta

Other (specify) _____

OWNER _____ Tel. No. _____

Address _____

RESIDENT _____ Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG _____ Manufacturer Name/Model Name _____

Insig/ HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: [Signature] 4/17/15
(Signature Required) Date

DEPARTMENT USE ONLY

ID. No. 40-0118

MP AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8062867

Fee Rec'd 1,007.00

Collection Date 4-17-14

Assigned To WOOD

Routed By VASQUEZ

Upon Department approval to release, and payment of fees, this permit is issued only for items validated below.

MP 8062867

MH AGOS _____

MP 8809-

BLDG _____

MHI _____

MISC. 492-1/20/15

TECH SER. _____

PLCK 803

S.M.L. _____

ISSUE _____

TOTAL 1007.-

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 4/17/14

Issued By [Signature]

Expires 10/17/14

1/20/14

Flying Flags RU Resort
FPA Flying flags LLC.
180 Ave. of The flags
PARK ID # 42-0118

Deli Remodel

To whom it may concern:

Please extend our Permit # 8062867
§ These Attached Plans for Changes on the
Deli.

Health Dept. has approved the new Plans.
Dated AUG 18, 2014

Please Call with ANY questions or concerns

Best Regards

Ronald Biddlecome

(253) 355-0803

RTb-inc@ymail.com

EXTENSION APPROVED
90 DAYS



A P P L I C A T I O N
C O P Y

Business, Transportation and Housing Agency
Department of Housing and Community Development
Division of Codes and Standards
Mobilehome and Special Occupancy Park Programs
APPLICATION FOR PERMIT TO CONSTRUCT



(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS
Not required for commercial trailers or recreational vehicles

1. LICENSED CONTRACTOR'S DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____
Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractor License Law for the following reason (Sec. 7031.5), Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, abrogates the application for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor License Law (Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption: Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).:

I, as owner of the property, or my employees with wages as the sole compensation, will do this work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor License Law.

I am exempt under Sec. _____, B. & P.C. for the reason:

Owner _____ Date _____

WORKERS' COMPENSATION DECLARATION
I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure or Workers' Compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____
This section need not be completed if the permit is for one hundred dollars (\$100) or less.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to Workers' Compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant: _____ Date: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3007, C.P.C.):

Lender's Name _____

Lender's Address _____

5. CERTIFICATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name FLYING FLYES RU RESORT

Park Address 180 AVE OF FLYES

City BUENTON County SANTA BARBARA

Zip 93427 Unincorporated _____ Incorporated

Park Owner: FPA FLYING FLYES ASSOC.

APPLICANT: PAYTRICK HOUSH

CONTRACTOR OWNER Other ARCHITECT

Address: 186 W. ALAMAR AVE #C

Shawnee Barbara 93105 Tel. No. 805-682-8894

Architect/Engineer: Paul POWERS Lic. No. 415-831

Address: 186 W. Alamar St. Tel. No. 805-682-8894

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Expand and remodel cafe

Valuation: \$147,803.01

SECTION 3 - ACCESSORY BUILDINGS OR STRUCTURES

NEW REINSTALL Standard Plan Approval No. _____

Awning Carport Porch Cabana

Other (specify) _____

OWNER _____ Tel. No. _____

Address _____

RESIDENT _____ Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILE HOME INSTALLATION

Owner _____ Tel. No. _____

Address _____

Resident _____ Lot No. _____

Serial Number(s) _____

Date of MFG. _____ Manufacturer Name/Model Name _____

Inspected/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: [Signature] Date 7/14/14
Signature Required _____ Date _____

DEPARTMENT USE ONLY

ID. No. 42-0118

AMP AS MH

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # 8062867

Fee Rec'd 1,007.00

Collection Date 4-17-14

Assigned To WOO

Reviewed By VASQUEZ

Upon Department approval to release and payment of fees, this permit is valid only for items indicated below.

PERMIT # MD 8062867

MH ACCESS _____

MP 809

BLDG _____

MH _____

MISC _____

TECH/SER _____

PLCK 203

S.M.L _____

ISSUE _____

TOTAL 1007

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local Fire _____

Local Health _____

Public Works _____

Environmental Impact _____

Negative Declaration _____

School Impact Fees _____

Date 4/17/14

Issued By [Signature]

Expires 10/17/14

APPLICANT COPY



Business, Transportation and Housing Agency
Department of Housing and Community Development
Division of Codes and Standards
Mobilehome and Special Occupancy Parks Programs
APPLICATION FOR PERMIT TO CONSTRUCT

(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATION
Not required for commercial mobilehous or Recreational Vehicles

1. LICENSED CONTRACTORS DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
License Class _____ Lic. No. _____ Exp. Date _____
Contractor _____ Date _____

2. OWNER-BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5) of the Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, Chapter 7 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or (3) he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.);
 I, as owner of the property, or my employees will wages at the rate of compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself, or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.
 I, as owner of the property, am exclusively contracting with licensed contractor to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.
 I am exempt under Sec. _____ B. & P.C. for the reason:

Owner _____ Date _____

3. WORKERS' COMPENSATION DECLARATION
I hereby affirm under penalty of perjury one of the following declarations:
I have and will maintain a certificate of contract liability insurance or workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
The section need not be completed if the permit is for one hundred dollars (\$100) or less.
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I shall (or will) comply with those provisions.
Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

4. CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, City, C.).
Lender's Name _____
Lender's Address _____

5. CERTIFICATION
I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorized representatives of this county to enter upon the above-mentioned property for inspection purposes.
Signature of Applicant or Agent _____ Date _____

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name FLYING FLAGS RU RESORT
Park Address 180 AVE OF FLAGS
City BUENTON County SANTA BARBARA
Zip 93427 Unincorporated _____ Incorporated
Park Owner FPA FLYING FLAGS ASSOC.
APPLICANT PATRICK HOUSH
PROFESSION CONTRACTOR OWNER OTHER ARCHITECT
Address 156 W. ALHAMBRA AVE #1C
Howard Behm 93105 Tel. No. 805-662-3894
Architect Engineer Paul POKER Lic. No. 215-831
Address 156 W. Alhambra St. Tel. No. 805-662-8894

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

Expand and remodel coffee
APPROVED
REVISIONS
1/20/15
Valuation 1147,803.61

SECTION 3 - ACCESSORY BUILDINGS OR STRUCTURES

NEW REPAIR Standard Plan Approval No. _____
 Awning Carport Porch Cabana
 Other (specify) _____
OWNER _____ Tel. No. _____
Address _____
RESIDENT _____ Tel. No. _____
Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner _____ Tel. No. _____
Address _____
Resident _____ Lot No. _____
Serial Number(s) _____
Date of MFG. _____ Manufacturer Name/Model Name _____
Ins/anto/HUD Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED: _____ 4/14/14
(Signature Required) Date

DEPARTMENT USE ONLY

ID. No. 45-0118
 MP AS MH
Closed By _____
Date Closed _____

COLLECTION INFORMATION

Collection # 8062867
Fee Rec'd 1,007.00
Collection Date 4-17-14
Assigned to WOOD
Routed by VASQUEZ

Upon Department approval to release and payment of fees, this permit is issued only for items validated below.

PERMIT MP 8062867
MHAGCS _____
RP 2809-
BLDG _____
MHF _____
MISC. 492-1/20/15
TECH. SER. _____
PLCK 2203-
SML _____
ISSUE _____
TOTAL 1007.-

DIVISION PROCESS RECORD

Application _____
Local Planning _____
Local Fire _____
Local Health _____
Public Works _____
Environmental Impact _____
Negative Declaration _____
School Impact Fees _____
Date 4/17/14
Issued By V-ES
Expires 10/17/14